



1 LOCATION PLAN
NOT TO SCALE



SULLIVAN

CRITICAL AREA REVIEW 2

PROJECT CONTACTS:

OWNER:
JOHN SULLIVAN
jvsjll2013@gmail.com
847.420.1434

ARCHITECT:
SHED ARCHITECTURE & DESIGN
1401 S JACKSON ST SEATTLE WA 98144 USA
CONTACT: CLAYTON HERBST
CLAYTON@SHEDBUILT.COM
708.567.9476

STRUCTURAL ENGINEER:
HARRIOTT VALENTINE ENGINEERS INC.
CONTACT: JAMES HARRIOTT
jharrlott@harrriottvalentine.com
206.624.4760

GEOTECHNICAL ENGINEER:
COBALT GEOSCIENCES
CONTACT: PHIL HABERMAN
phil@cobaltgeo.com
206.337.1097

CIVIL ENGINEER:
INTERLAKEN ENGINEERING
CONTACT: MATTHEW HARINGA
matt@interlakenengineering.com
206.470.9572

MECHANICAL ENGINEER:
BEYOND EFFICIENCY
CONTACT: NATHAN RUSSELL
nath@beyondefficiency.us
307.200.7236

ARBORIST:
OLYMPIC NURSERY, INC
CONTACT: TOM QUIGLEY
tquigley@onm.com
206.850.2643

CONTRACTOR:
TBD
CONTACT: TBD

FIRE:

SPRINKLERS:
PER AMENDMENT TO IRC 17.02.020.B, IRC AV107.2 AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT THE RESIDENCE IN NEW SINGLE FAMILY HOMES

GENERAL NOTES:

- THE DRAWINGS ARE INTENDED TO ONLY PARTIALLY DESCRIBE THE SCOPE OF WORK FOR THE PROJECT. ANY WORK NOT SHOWN HERE, BUT REQUIRED BY CODE, OR THE SPECIFICATIONS, OR TO MAKE THE WORK COMPLETE, SHALL BE PROVIDED AS PART OF THE WORK.
- IT IS THE INTENT OF THE DOCUMENTS THAT ALL WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE & NATIONAL CODES / ORDINANCES IN EFFECT AT THE DATE OF PERMIT SUBMITTAL. NOTHING IN THESE DRAWINGS SHALL BE CONSTRUED TO GRANT APPROVAL FOR ANY CODE VIOLATION. ANY ERRORS, INCONSISTENCIES OR OMISSIONS SHALL BE REPORTED PROMPTLY TO THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS. THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON THE DRAWINGS AND ACTUAL FIELD MEASUREMENTS. IF DISCREPANCIES ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED AT ONCE.
- CONTRACTOR SHALL VERIFY THE DIMENSIONS REQUIRED FOR ALL EQUIPMENT, APPLIANCES, FIXTURES, CABINETS, DUCTWORK, AND OPENINGS BEFORE FRAMING BEGINS. THE CONTRACTOR SHALL COORDINATE WITH THE SUBCONTRACTORS OF ALL TRADES TO VERIFY THE SIZES AND LOCATIONS OF OPENINGS THROUGH FLOORS, WALLS, CEILINGS, AND ROOFS FOR DUCTS, PIPES, CONDUITS, AND EQUIPMENT. THE CONTRACTOR SHALL COORDINATE THE LOCATION AND INSTALLATION OF WOOD BACKING, BLOCKING, FURRING, AND STRIPPING AS REQUIRED FOR THE INSTALLATION AND ATTACHMENT OF WORK OF ALL TRADES.
- PROVIDE FIRE RESISTANCE CLOSURE MEETING THE REQUIREMENTS OF THE GOVERNING FIRE AUTHORITIES AT ALL GAPS AROUND PENETRATING DUCTS, PIPES, CONDUITS, ETC., AT ALL FIRE RATED BUILDING WALLS, PARTITIONS, CEILINGS, FLOORS AND ROOFS.
- COORDINATE WITH MECHANICAL AND ELECTRICAL CONTRACTORS FOR EXACT LOCATIONS, TYPES AND SIZE OF ACCESS DOORS REQUIRED BY THEIR WORK. PROVIDE ACCESS FOR ALL CONCEALED VALVES, DAMPER CONTROLS, FIRE DAMPER LINKAGE, ELECTRICAL JUNCTION BOXES, ETC. DRAWINGS MAY NOT SHOW ALL REQUIRED ACCESS PANELS. INDICATE REQUIRED ACCESS DOORS ON THE COORDINATION DRAWINGS. OBTAIN ARCHITECT'S APPROVAL FOR LOCATIONS OF ACCESS DOORS PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND GOVERNMENTAL FEES, LICENSES AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK, WITH THE EXCEPTION OF THE WATER USE PERMIT AND THE BUILDING PERMIT.
- PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR SITE DEVELOPMENT ACTIVITY, THE CONTRACTOR SHALL SCHEDULE PRE-CONSTRUCTION MEETINGS WITH THE APPROPRIATE REGULATORY ENTITIES.
- PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR SITE DEVELOPMENT ACTIVITY, THE CONTRACTOR AND/OR ARCHITECT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE PROJECT TEAM MEMBERS FOR THE PURPOSE OF ANSWERING INITIAL QUESTIONS, CLARIFYING AREAS OF CONCERN AND FORMALIZING A CONSTRUCTION ADMINISTRATION PROCESS. THE MEETING SHALL INCLUDE THE ARCHITECT, GENERAL CONTRACTOR, OWNER, STRUCTURAL ENGINEER AND CIVIL ENGINEER.

SHEET INDEX:

G-000	COVER SHEET
SV-1	SURVEY
A-001	SITE PLAN
A-002	GFA+BASEMENT CALC
A-111	BASEMENT FLOOR PLAN
A-112	LEVEL 1 FLOOR PLAN
A-113	LEVEL 2 FLOOR PLAN
A-114	ROOF PLAN
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
A-203	EXTERIOR ELEVATIONS

PROJECT INFO:

PROJECT DESCRIPTION:
NEW CONSTRUCTION, SINGLE-FAMILY RESIDENCE

PROJECT ADDRESS:
3024 69TH AVE SE
MERCER ISLAND, WA, 98040

LEGAL DESCRIPTION:
EAST SEATTLE BLKS 39-40
PLAT BLOCK: 40
PLAT LOT: 17-18-19
QUARTER, SECTION, TOWNSHIP, RANGE: NW-12-24-4

PARCEL NUMBER:
217510-0315

EASEMENTS:
No. 4635710 SEWER EASEMENT (5' SOUTH SIDE YARD)
COVENANTS W/ NEIGHBORING PROP. @ 3015 70TH AVE SE
>VIEW EASEMENT (HEIGHT RESTRICTION 27' ABV SEA LEVEL)
>UTILITY EASEMENT (10' NORTH SIDE YARD)
>YARD EASEMENT (18' REAR YARD)

BUILDING NOTES:

CONSTRUCTION TYPE:
VB, SPRINKLERED

DWELLINGS: 1 HOUSE

#BEDROOMS: 4

#BATHROOMS: 3

LAND USE NOTES:

ZONING:
R-8.4

LOT AREA:
8,652 SQFT

LOT COVERAGE:
REFER TO DIAGRAM ON 3/A-001

LOT SLOPE:
28.7%; REFER TO DIAGRAM ON 3/A-001

GROSS FLOOR AREA:
REFER TO DIAGRAM ON 5/A-002

PROPOSED BUILDING HEIGHT:
>19.3' ABV AVERAGE GRADE
>REFER TO 4/A-001 FOR AVERAGE GRADE CALC

SETBACKS:
>PER MICC 19.02.020.C
>FRONT YARD: 20'
>REAR YARD: 25'
>VARIABLE SIDE YARD WIDTH PER 19.02.020.C.1.c:
>LOT LARGER THAN 6,000SQFT
>HOUSE IS TALLER THAN 15' BUT LESS THAN 25'
>SIDE YARD: 7.5'

PARKING:
>PER MICC 19.02.020.G.2.a: 3 PARKING SPACES ARE REQUIRED IF GFA>3,000SQFT
>GFA = 2,975.4 SQFT PER CALC IN A-002, LESS THAN 3,000 SQFT, SO 2 PARKING SPACES REQUIRED
>2 COVERED SPACES ARE PROVIDED IN GARAGE
TOTAL: 2 PROVIDED

CODES:

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES.

MERCER ISLAND CITY CODE
2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL RESIDENTIAL CODE
2018 INTERNATIONAL MECHANICAL CODE
NATIONAL FUEL GAS CODE (ANSI Z223.1/NFPA 54)
LIQUEFIED PETROLEUM (NFPA 58)
INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL FIRE CODE
2018 UNIFORM PLUMBING CODE
WASHINGTON STATE ENERGY CODE



CONTACT

SHED ARCHITECTURE & DESIGN
1401 S JACKSON ST
SEATTLE, WA 98144
206.320.8700

PROJECT

SULLIVAN
3024 69th Ave SE
MERCER ISLAND, WA 98040

ISSUE **DATE**

PRE APP #1 (PRE22-0433) 2022.08.16
CRITICAL AREA REVIEW 2 2022.12.06

DRAWING TITLE

COVER SHEET

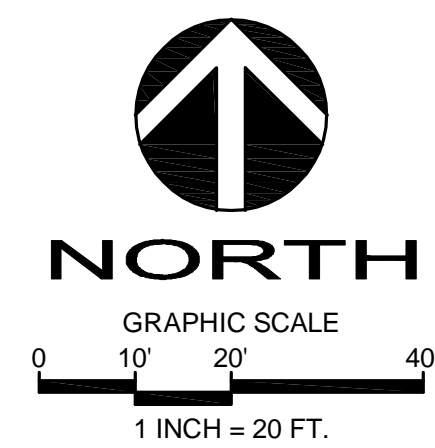
G-000

BOUNDARY AND TOPOGRAPHIC SURVEY

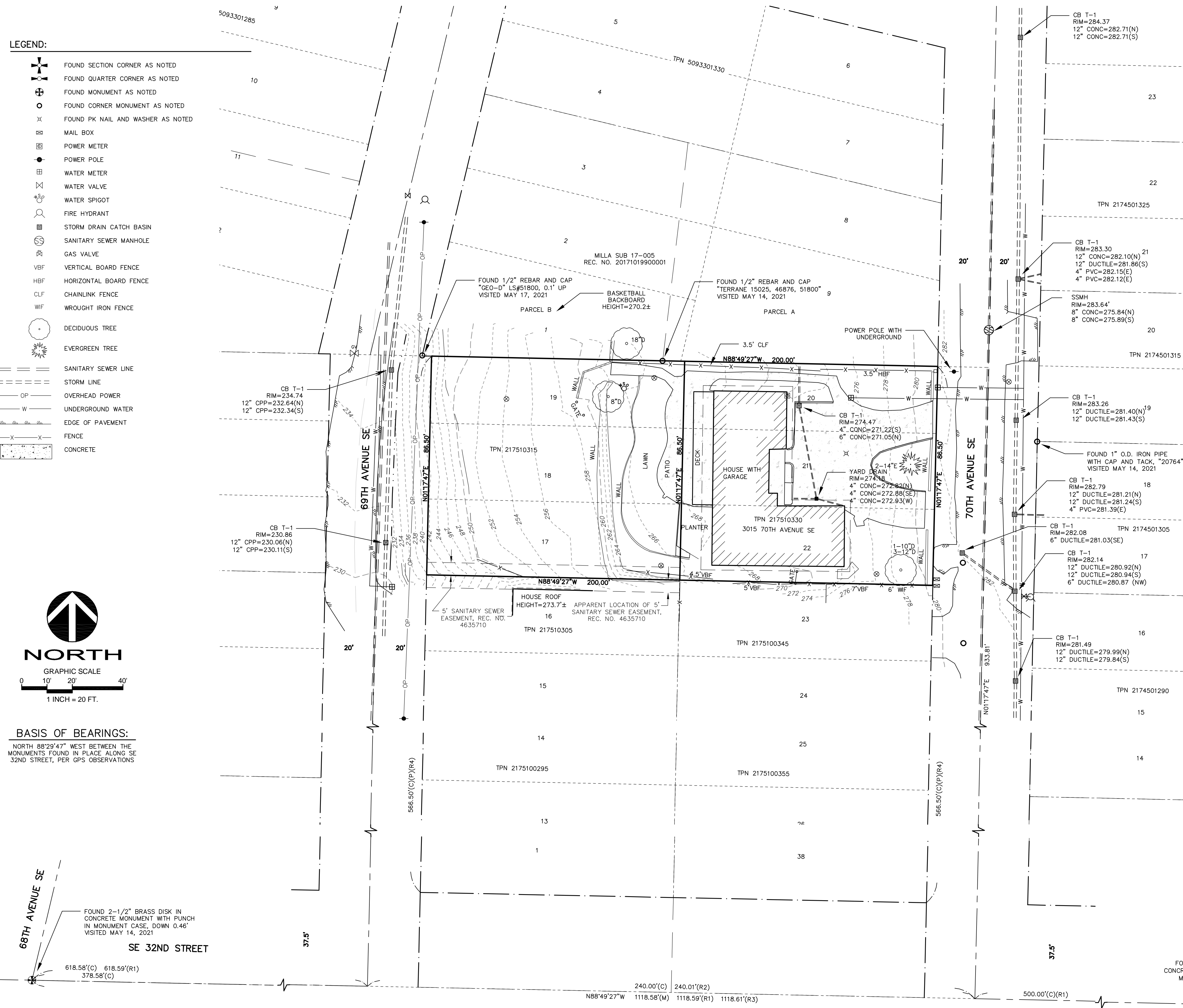
A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER
SECTION 12, TOWNSHIP 24 NORTH, RANGE 04 EAST, W.M.,
CITY OF MERCER ISLAND, KING COUNTY, WASHINGTON

- LEGEND:**
- FOUND SECTION CORNER AS NOTED
 - FOUND QUARTER CORNER AS NOTED
 - FOUND MONUMENT AS NOTED
 - FOUND CORNER MONUMENT AS NOTED
 - FOUND PK NAIL AND WASHER AS NOTED
 - MAIL BOX
 - POWER METER
 - POWER POLE
 - WATER METER
 - WATER VALVE
 - WATER SPIGOT
 - FIRE HYDRANT
 - STORM DRAIN CATCH BASIN
 - SANITARY SEWER MANHOLE
 - GAS VALVE
 - VBF VERTICAL BOARD FENCE
 - HBF HORIZONTAL BOARD FENCE
 - CLF CHAINLINK FENCE
 - WIF WROUGHT IRON FENCE

- DECIDUOUS TREE
- EVERGREEN TREE
- SANITARY SEWER LINE
- STORM LINE
- OP OVERHEAD POWER
- W UNDERGROUND WATER
- EDGE OF PAVEMENT
- FENCE
- CONCRETE



BASIS OF BEARINGS:
NORTH 88°29'47" WEST BETWEEN THE MONUMENTS FOUND IN PLACE ALONG SE 32ND STREET, PER GPS OBSERVATIONS



LEGAL DESCRIPTION:
TAX PARCEL NUMBER 217510-0330-04:
LOTS 20, 21 AND 22, BLOCK 40, EAST SEATTLE BLOCKS 39 & 40, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 4 OF PLATS, PAGE 21, RECORDS OF KING COUNTY, WASHINGTON.
TAX PARCEL NUMBER 217510-0315-03:
LOTS 17, 18 AND 19, BLOCK 40, EAST SEATTLE BLOCKS 39 & 40, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 4 OF PLATS, PAGE 21, RECORDS OF KING COUNTY, WASHINGTON.
ALL SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

TITLE RESTRICTIONS:
TAX PARCEL NUMBER 217510-0330-04:
1. THIS SITE IS SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE LAW, AS SET FORTH ON THE PLAT OF EAST SEATTLE BLOCKS 39 & 40, RECORDING NUMBER 40295.
2. THIS SITE IS SUBJECT TO A 5' SIDE SEWER EASEMENT, AS DISCLOSED BY DOCUMENT RECORDED UNDER RECORDING NUMBER 8811301386. THIS EASEMENT CONTAINS A PROVISION FOR BEARING A PROPORTIONATE OR EQUAL COST OF MAINTENANCE, REPAIR OR RECONSTRUCTION OF SAID SIDE SEWER BY THE COMMON USERS. THIS EASEMENT IS SHOWN HEREON.
3. THIS SITE IS SUBJECT TO RESERVATIONS AND EXCEPTIONS IN UNITED STATES PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF, INDIAN TREATY OR ABORIGINAL RIGHTS.
4. THIS SITE IS SUBJECT TO CITY, COUNTY OR LOCAL IMPROVEMENT DISTRICT ASSESSMENTS, IF ANY.
5. THIS SITE IS SUBJECT TO ANY UNRECORDED LEASEHOLDS, RIGHT OF VENDORS AND HOLDERS OF SECURITY INTERESTS ON PERSONAL PROPERTY INSTALLED UPON THE LAND AND RIGHTS OF TENANTS TO REMOVE TRADE FIXTURES AT THE EXPIRATION OF THE TERMS.

TAX PARCEL NUMBER 217510-0315-03:
1. THIS SITE IS SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE LAW, AS SET FORTH ON THE PLAT OF EAST SEATTLE BLOCKS 39 & 40, RECORDING NUMBER 40295.
2. THIS SITE IS SUBJECT TO AN EASEMENT GRANTED TO MERCER ISLAND SEWER DISTRICT FOR SEWER, RECORDED UNDER RECORDING NUMBER 4635710. THIS EASEMENT IS SHOWN HEREON.
3. THIS SITE IS SUBJECT TO CITY, COUNTY OR LOCAL IMPROVEMENT DISTRICT ASSESSMENTS, IF ANY.

SURVEYOR'S NOTES
1. ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM FIDELITY NATIONAL TITLE COMPANY OF WASHINGTON, COMMITMENTS NO. 611287325, DATED MAY 10, 2021 AND NO. 611287326, DATED MAY 12, 2021. IN PREPARING THIS MAP, D.R. STRONG CONSULTING ENGINEERS INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS D.R. STRONG CONSULTING ENGINEERS INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY REFERENCED FIDELITY NATIONAL TITLE COMPANY COMMITMENTS. D.R. STRONG CONSULTING ENGINEERS INC. HAS RELIED WHOLLY ON FIDELITY NATIONAL TITLE COMPANY REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE D.R. STRONG CONSULTING ENGINEERS INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
2. THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON MAY 14 AND 17, 2021. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT ON MAY 14 AND 17, 2021.
3. PROPERTY AREA = 17,300± SQUARE FEET (0.397± ACRES).
4. ALL DISTANCES ARE IN U.S. SURVEY FEET.
5. THIS IS A COMBINED FIELD TRAVERSE AND GLOBAL POSITIONING SYSTEM SURVEY. A TRIMBLE ONE-SECOND COMBINING TOTAL STATION AND A TRIMBLE R12 GLOBAL POSITIONING SYSTEM WERE USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN, UTILIZING RTK OBSERVATIONS USING THE WSRN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN WAC 332-130-090. ALL MEASURING INSTRUMENTS AND EQUIPMENT ARE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
6. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE ARE SHOWN HEREON. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN SURFACE UTILITY LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. D.R. STRONG CONSULTING ENGINEERS INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS.
7. CONTOUR INTERVAL = 2 FOOT. CONTOURS SHOWN ARE PRODUCED FROM A DIGITAL TERRAIN MODEL DERIVED FROM DIRECT FIELD OBSERVATIONS OBTAINED DURING THE COURSE OF THE FIELD TRAVERSE SURVEY. CONTOUR ACCURACY COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS (AT LEAST 90 PERCENT OF THE ELEVATIONS ACCURATE WITHIN ONE-HALF THE CONTOUR INTERVAL).

REFERENCES:
(P) PLAT OF EAST SEATTLE BLOCKS 39 & 40, VOLUME 4, PAGE 21
(R1) RECORD OF SURVEY, RECORDING NO. 20091020900014
(R2) RECORD OF SURVEY, RECORDING NO. 20191115900004
(R3) RECORD OF SURVEY, RECORDING NO. 20080415900004
(R4) RECORD OF SURVEY, RECORDING NO. 20171015900001

HORIZONTAL DATUM:
NAD83-2011 EPOCH 2010.00 WASHINGTON PLANE COORDINATE SYSTEM - NORTH ZONE

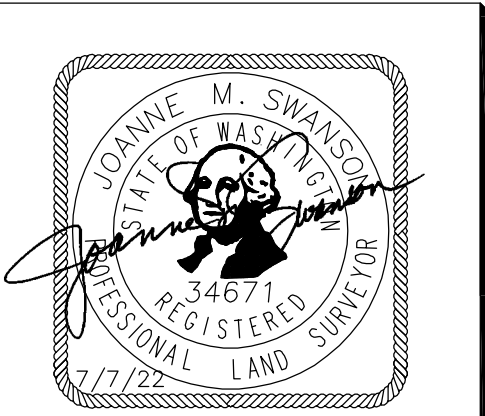
VERTICAL DATUM:
NAVD88 PER GPS OBSERVATIONS

BENCHMARK:
REBAR AND CAP SET 2.00' EAST OF THE EAST EDGE OF PAVEMENT ON 70TH AVENUE SE ACROSS THE STREET FROM THE NORTHEAST CORNER OF HOUSE 3015; 22.00' EAST OF POWER POLE 221604-165197 ELEVATION DETERMINED BY GPS OBSERVATION = 283.43'



BOUNDARY AND TOPOGRAPHIC SURVEY
3015 70TH AVENUE SE
AND 30XX 69TH AVENUE SE
TAX PARCEL NUMBERS
217510-0315-03 AND 217510-0330-04
CITY OF MERCER ISLAND, WASHINGTON

**JANET CASAL
ESTATE OF EVELYN CASAL**
12618 240TH PLACE NE
REDMOND, WASHINGTON 98053
PHONE: 206-399-0413

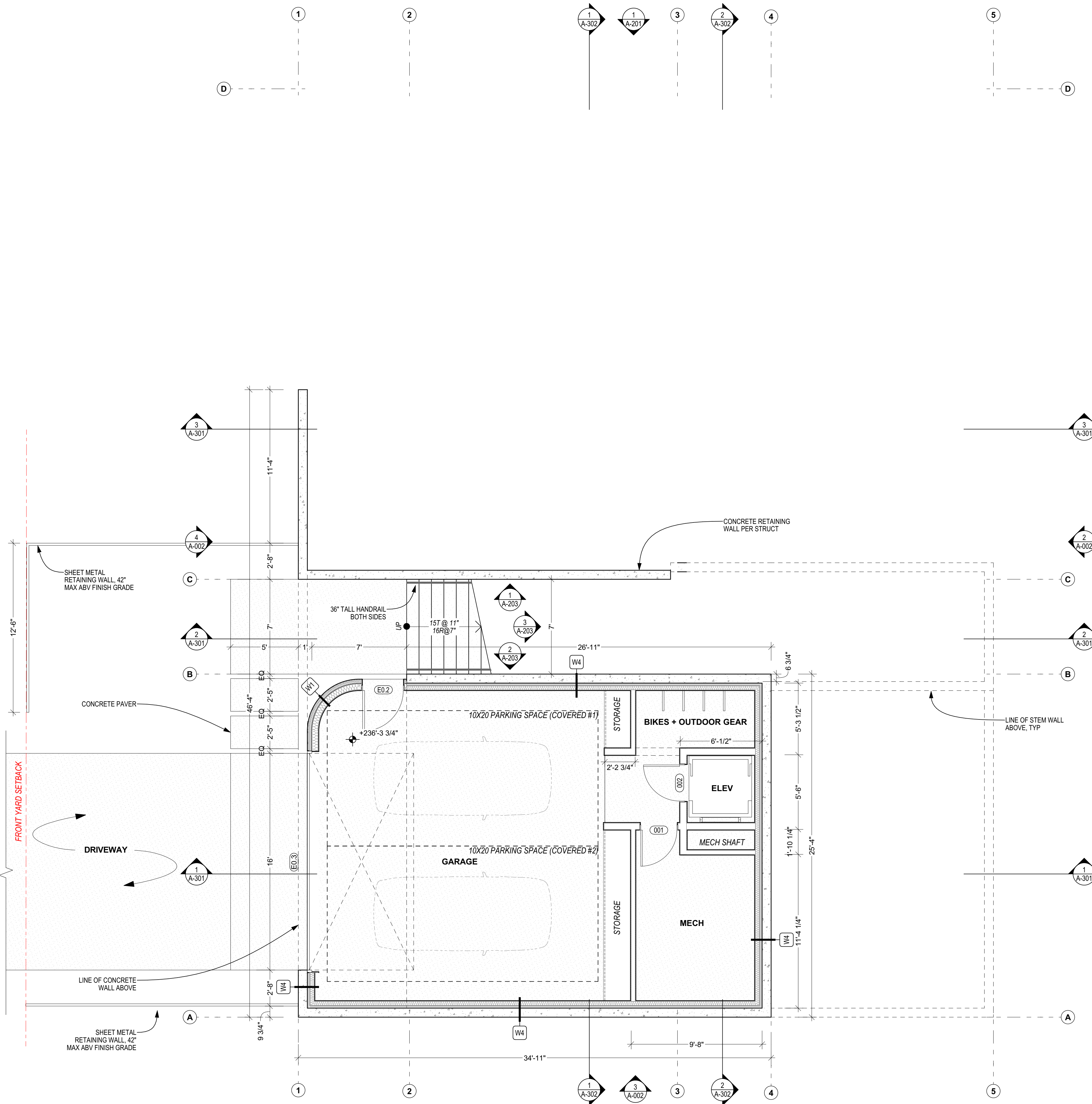


APR
JMS

DATE	REVISION	ADDED SIGNATURE
7/7/2022		

PROJECT SURVEYOR: JMS
DRAFTED BY: JMS
FIELD BOOK: 199 B & D
DATE: 05/21/2021
PROJECT NO.: 21065

PLAN NOTES:
A. ALL DIMS ARE TO F.O. FRAMING OR F.O. CONC. U.N.O.
B. ALL INDICATED ALIGNMENTS ARE TO F.O. FINISH, U.N.O.
C. WINDOW OPENING DIMENSIONS ARE MEASURED FROM THE ROUGH OPENING U.N.O. -- RE: SCHEDULES & ELEVATIONS FOR ADDITIONAL INFO.
D. RE: STRUCTURAL FOR FRAMING INFO.
E. ALL FLOOR TRANSITIONS SHALL BE AT CENTER OF DOOR LEAF, U.N.O.
PLAN KEY NOTES: #
1.
2.
3.
PERMITTING NOTES:
A. PLANS ARE PRELIMINARY. SITE STRATEGY AND LAYOUT WILL NOT BE CHANGING FROM WHAT IS SHOWN IN THIS SET. FULL DRAWING SET WITH ENGINEERING WILL BE SUBMITTED AT TIME OF BUILDING PERMIT, ESTIMATED TIME OF SUBMISSION IS MID JANUARY 2023



CONTACT
SHED ARCHITECTURE & DESIGN
1401 S JACKSON ST
SEATTLE, WA 98144
206.320.8700

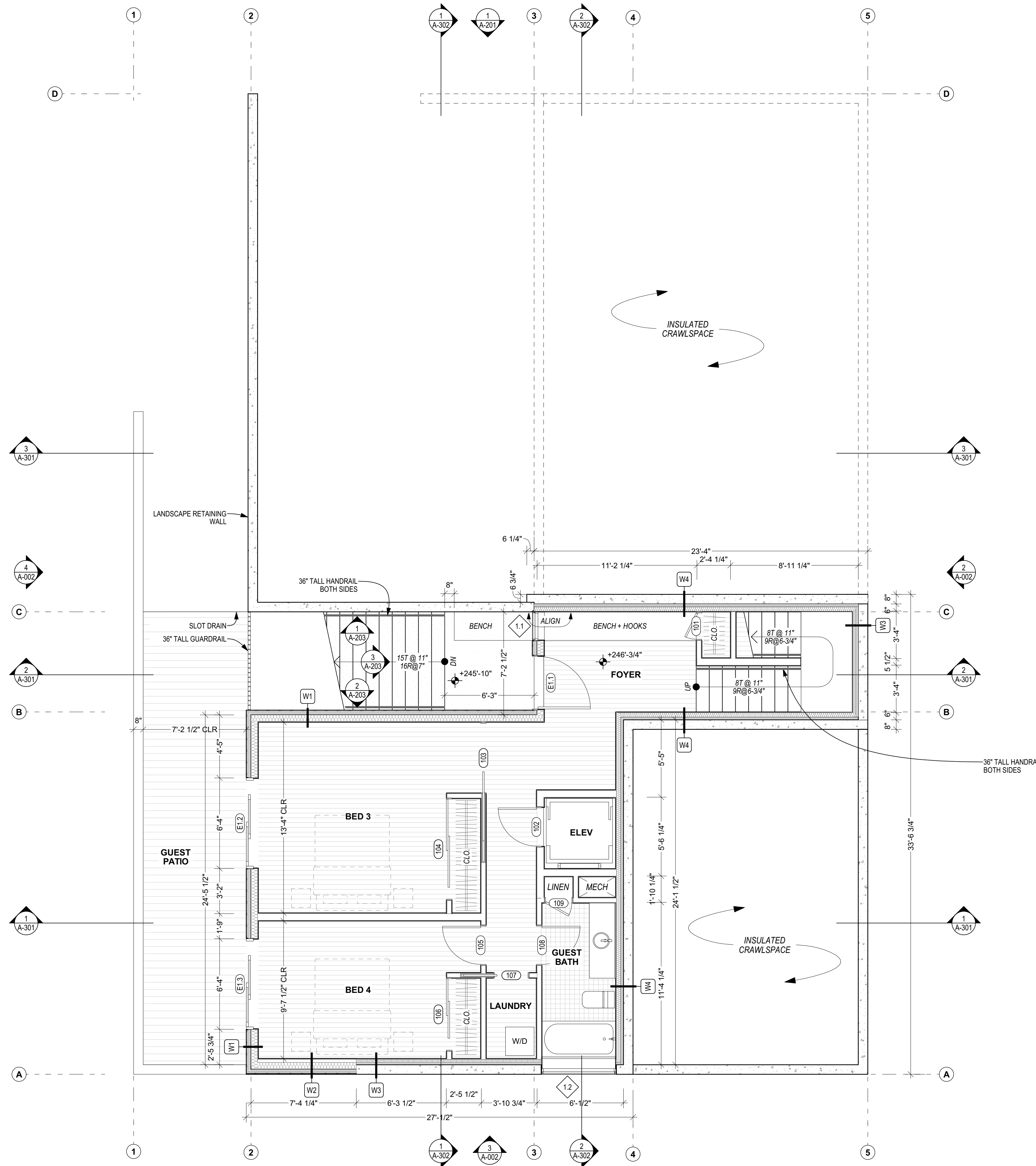
PROJECT
SULLIVAN
3024 69th Ave SE
MERCER ISLAND, WA 98040

ISSUE	DATE
PRE APP #1 (PRE22-0433)	2022.08.16
CRITICAL AREA REVIEW 2	2022.12.06

DRAWING TITLE
BASEMENT FLOOR PLAN



PLAN NOTES:
A. ALL DIMS ARE TO F.O. FRAMING OR F.O. CONC. U.N.O.
B. ALL INDICATED ALIGNMENTS ARE TO F.O. FINISH, U.N.O.
C. WINDOW OPENING DIMENSIONS ARE MEASURED FROM THE ROUGH OPENING U.N.O. -- RE: SCHEDULES & ELEVATIONS FOR ADDITIONAL INFO.
D. RE: STRUCTURAL FOR FRAMING INFO.
E. ALL FLOOR TRANSITIONS SHALL BE AT CENTER OF DOOR LEAF, U.N.O.
PLAN KEY NOTES: #
1.
2.
3.
PERMITTING NOTES:
A. PLANS ARE PRELIMINARY. SITE STRATEGY AND LAYOUT WILL NOT BE CHANGING FROM WHAT IS SHOWN IN THIS SET. FULL DRAWING SET WITH ENGINEERING WILL BE SUBMITTED AT TIME OF BUILDING PERMIT, ESTIMATED TIME OF SUBMISSION IS MID JANUARY 2023



CONTACT
SHED ARCHITECTURE & DESIGN
1401 S JACKSON ST
SEATTLE, WA 98144
206.320.8700

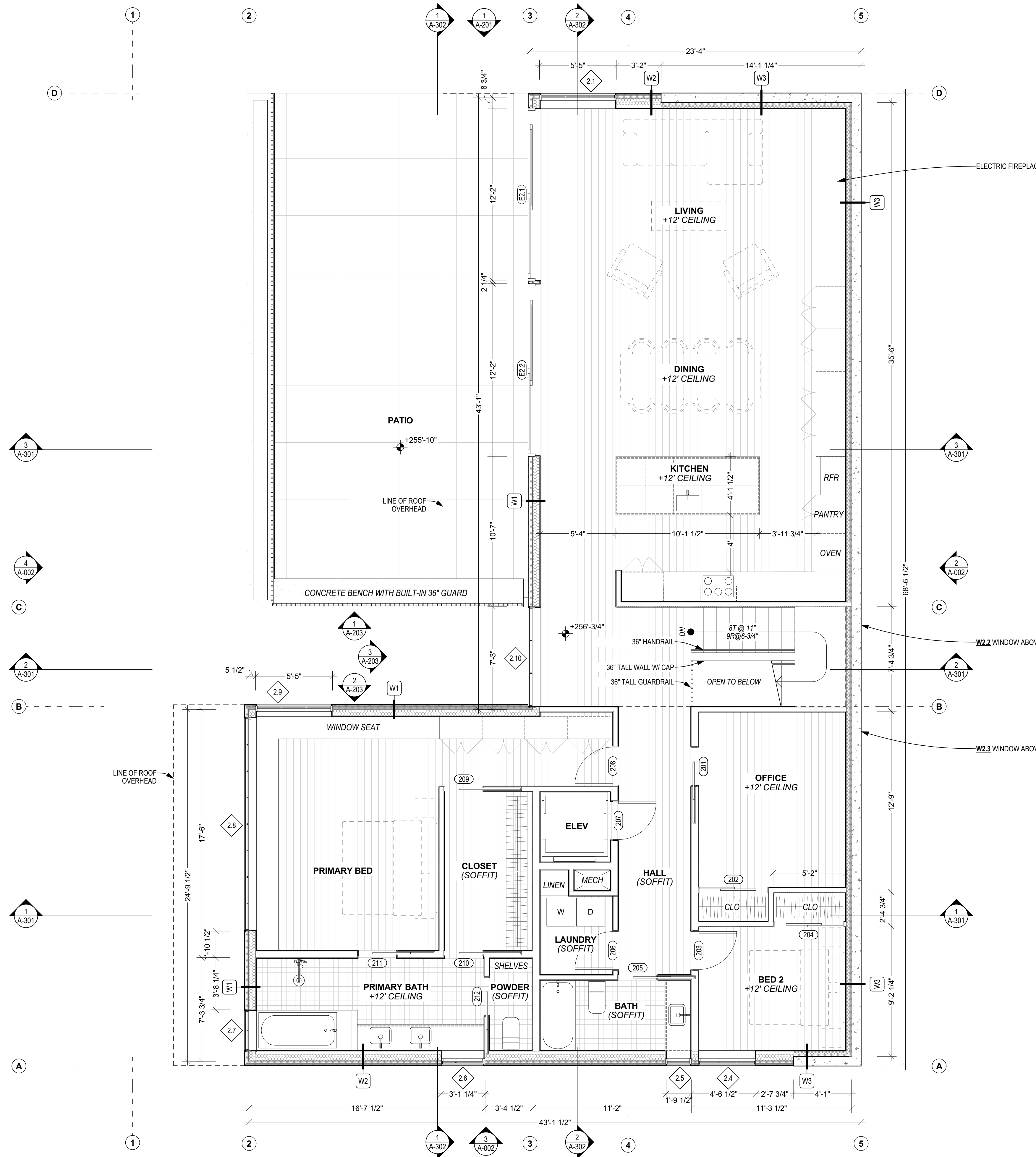
PROJECT
SULLIVAN
3024 69th Ave SE
MERCER ISLAND, WA 98040

ISSUE	DATE
PRE APP #1 (PRE22-0433)	2022.08.16
CRITICAL AREA REVIEW 2	2022.12.06

DRAWING TITLE
LEVEL 1 FLOOR PLAN



PLAN NOTES:
A. ALL DIMS ARE TO F.O. FRAMING OR F.O. CONC. U.N.O.
B. ALL INDICATED ALIGNMENTS ARE TO F.O. FINISH, U.N.O.
C. WINDOW OPENING DIMENSIONS ARE MEASURED FROM THE ROUGH OPENING U.N.O. -- RE: SCHEDULES & ELEVATIONS FOR ADDITIONAL INFO.
D. RE: STRUCTURAL FOR FRAMING INFO.
E. ALL FLOOR TRANSITIONS SHALL BE AT CENTER OF DOOR LEAF, U.N.O.
PLAN KEY NOTES: #
1.
2.
3.
PERMITTING NOTES:
A. PLANS ARE PRELIMINARY. SITE STRATEGY AND LAYOUT WILL NOT BE CHANGING FROM WHAT IS SHOWN IN THIS SET. FULL DRAWING SET WITH ENGINEERING WILL BE SUBMITTED AT TIME OF BUILDING PERMIT. ESTIMATED TIME OF SUBMISSION IS MID JANUARY 2023



CONTACT
SHED ARCHITECTURE & DESIGN
1401 S JACKSON ST
SEATTLE, WA 98144
206.320.8700

PROJECT
SULLIVAN
3024 69th Ave SE
MERCER ISLAND, WA 98040

ISSUE	DATE
PRE APP #1 (PRE22-0433)	2022.08.16
CRITICAL AREA REVIEW 2	2022.12.06

DRAWING TITLE
LEVEL 2 FLOOR PLAN



PLAN NOTES:

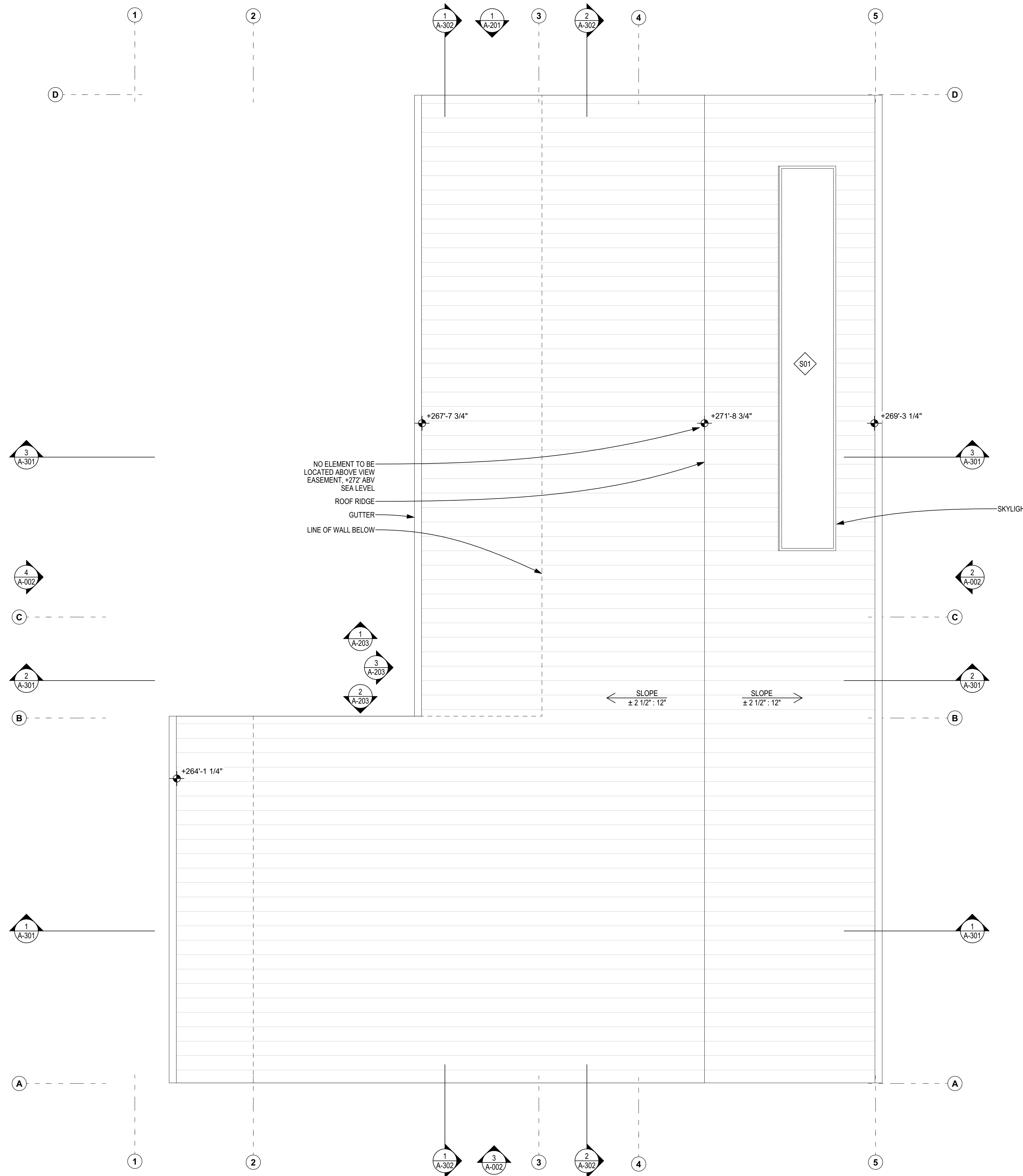
- A. ALL DIMS ARE TO F.O. FRAMING OR F.O. CONC. U.N.O.
- B. ALL INDICATED ALIGNMENTS ARE TO F.O. FINISH, U.N.O.
- C. WINDOW OPENING DIMENSIONS ARE MEASURED FROM THE ROUGH OPENING U.N.O. -- RE: SCHEDULES & ELEVATIONS FOR ADDITIONAL INFO.
- D. RE: STRUCTURAL FOR FRAMING INFO.
- E. ALL FLOOR TRANSITIONS SHALL BE AT CENTER OF DOOR LEAF, U.N.O.

PLAN KEY NOTES: #

- 1.
- 2.
- 3.

PERMITTING NOTES:

- A. PLANS ARE PRELIMINARY. SITE STRATEGY AND LAYOUT WILL NOT BE CHANGING FROM WHAT IS SHOWN IN THIS SET. FULL DRAWING SET WITH ENGINEERING WILL BE SUBMITTED AT TIME OF BUILDING PERMIT. ESTIMATED TIME OF SUBMISSION IS MID JANUARY 2023

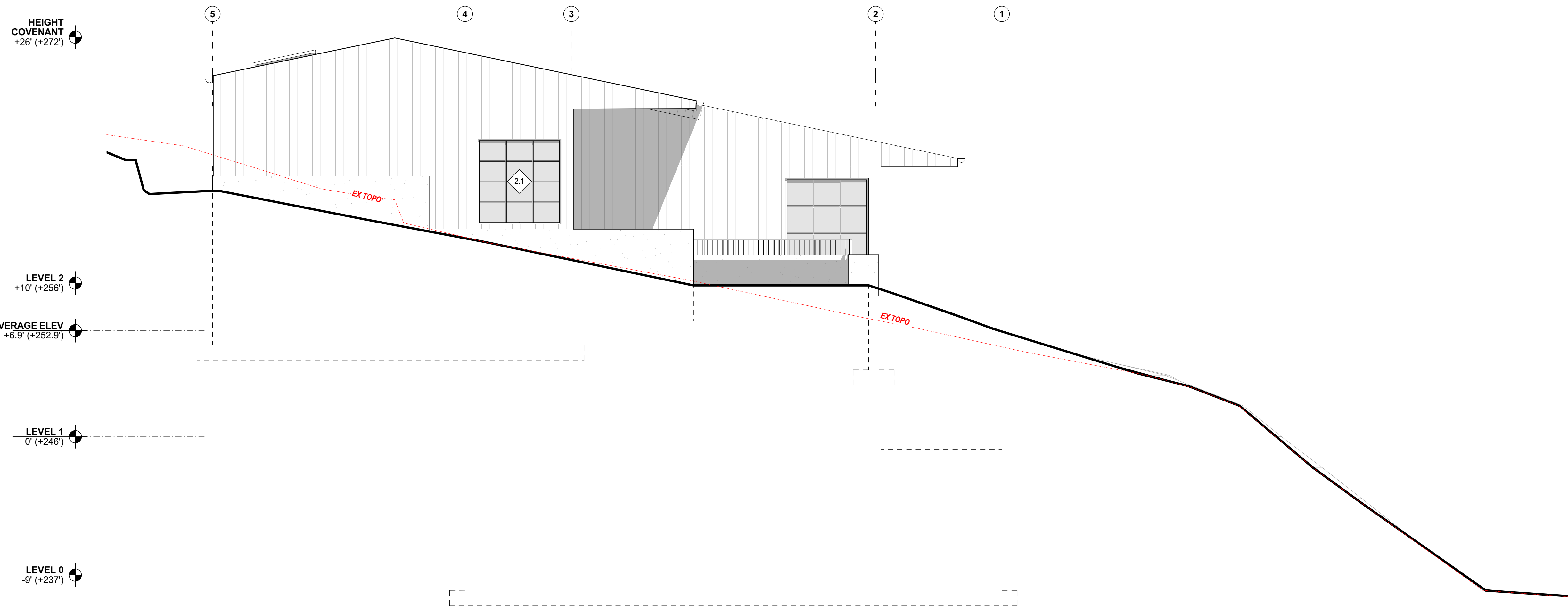


CONTACT
SHED ARCHITECTURE & DESIGN
1401 S JACKSON ST
SEATTLE, WA 98144
206.320.8700

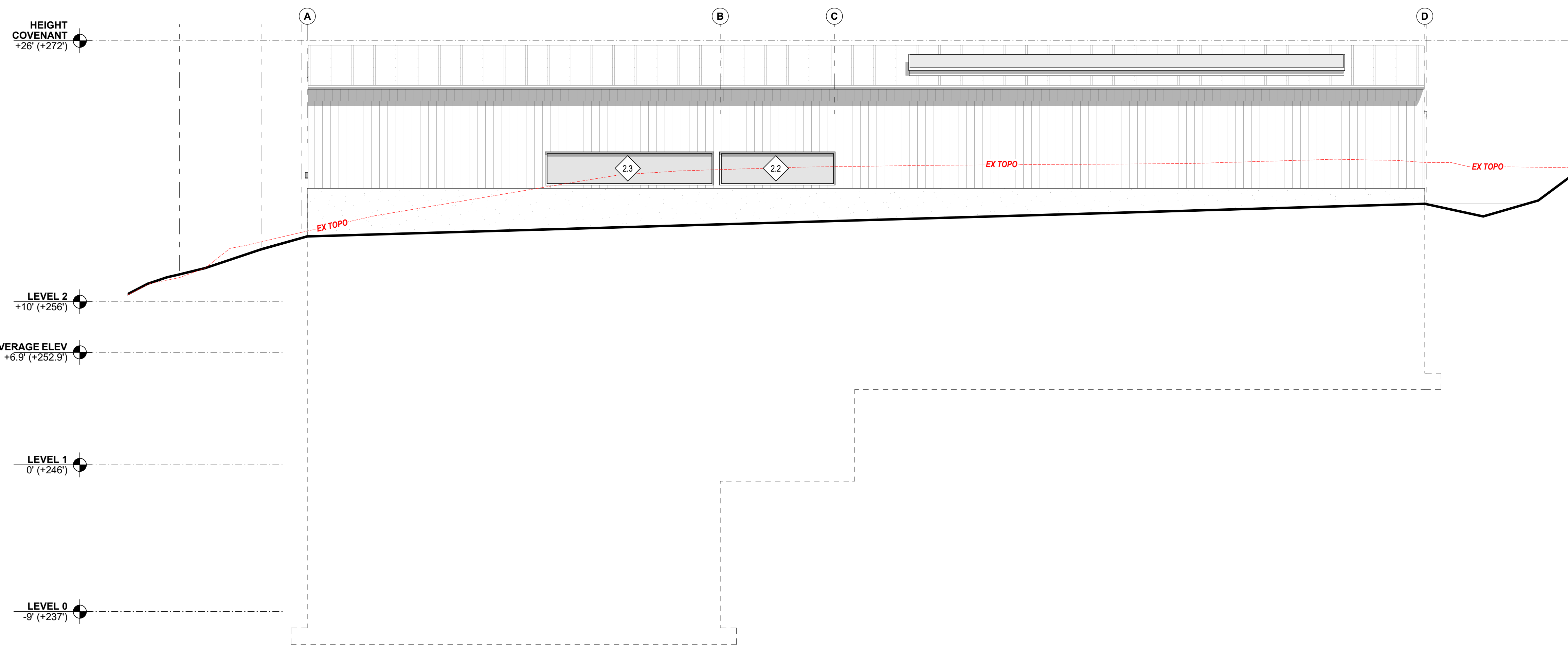
PROJECT
SULLIVAN
3024 69th Ave SE
MERCER ISLAND, WA 98040

ISSUE	DATE
PRE APP #1 (PRE22-0433)	2022.08.16
CRITICAL AREA REVIEW 2	2022.12.06

DRAWING TITLE
ROOF PLAN



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES:
A. ALL DIMS ARE TO FACE OF FINISH U.N.O.



CONTACT
SHED ARCHITECTURE & DESIGN
1401 S JACKSON ST
SEATTLE, WA 98144
206.320.8700

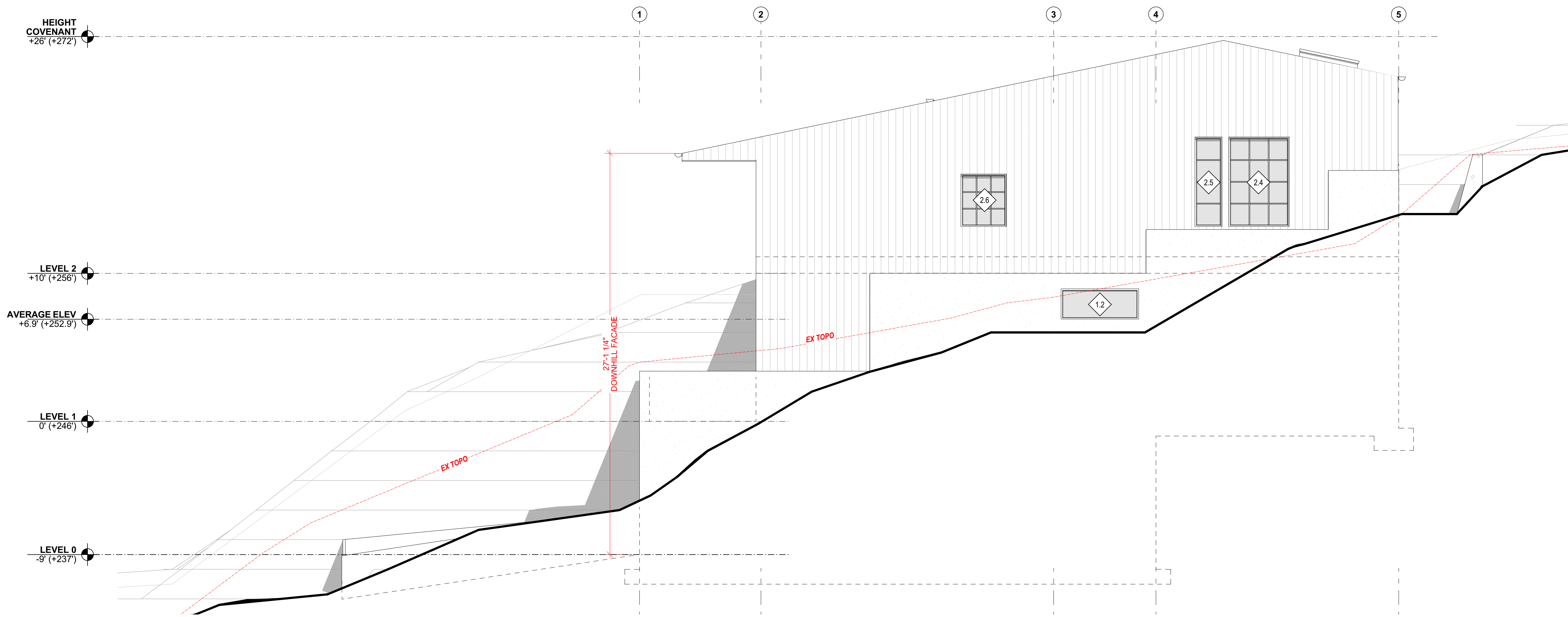
PROJECT
SULLIVAN
3024 69th Ave SE
MERCER ISLAND, WA 98040

ISSUE	DATE
PRE APP #1 (PRE22-0433)	2022.08.16
CRITICAL AREA REVIEW 2	2022.12.06

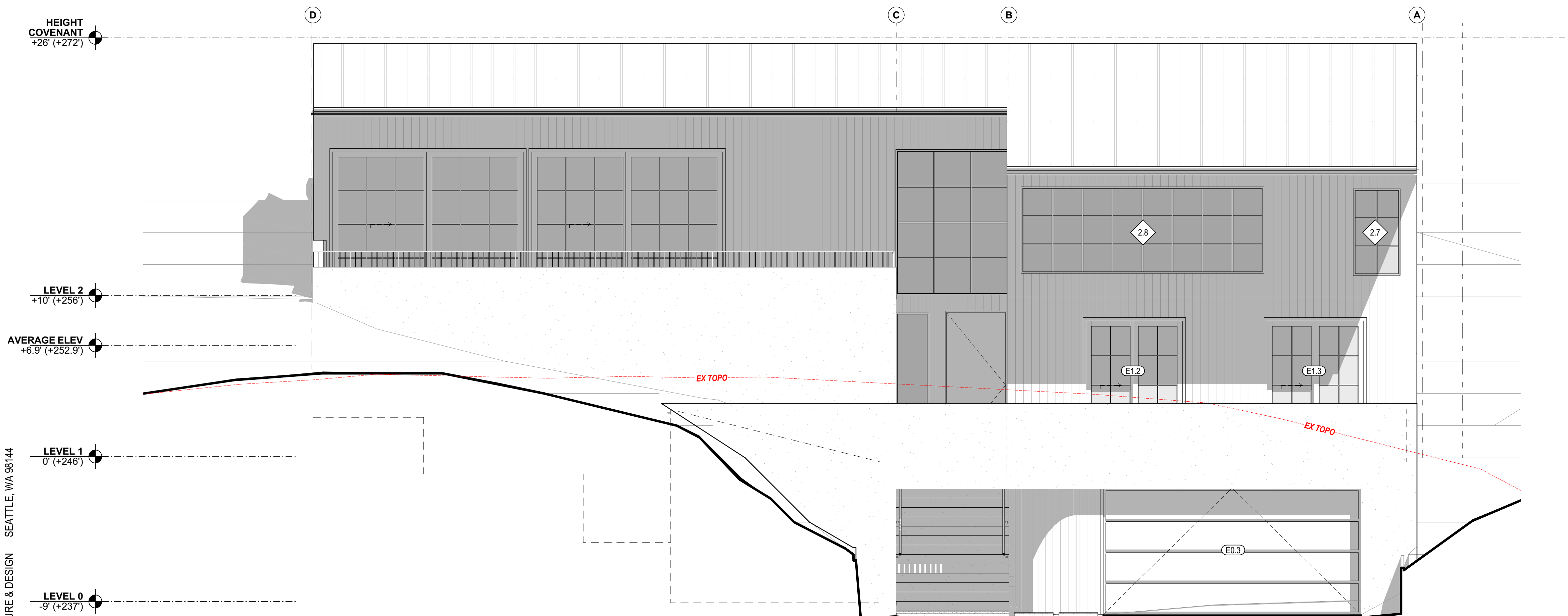
DRAWING TITLE
EXTERIOR ELEVATIONS

A-201

ELEVATION NOTES:
A. ALL DIMS ARE TO FACE OF FINISH U.N.O.



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



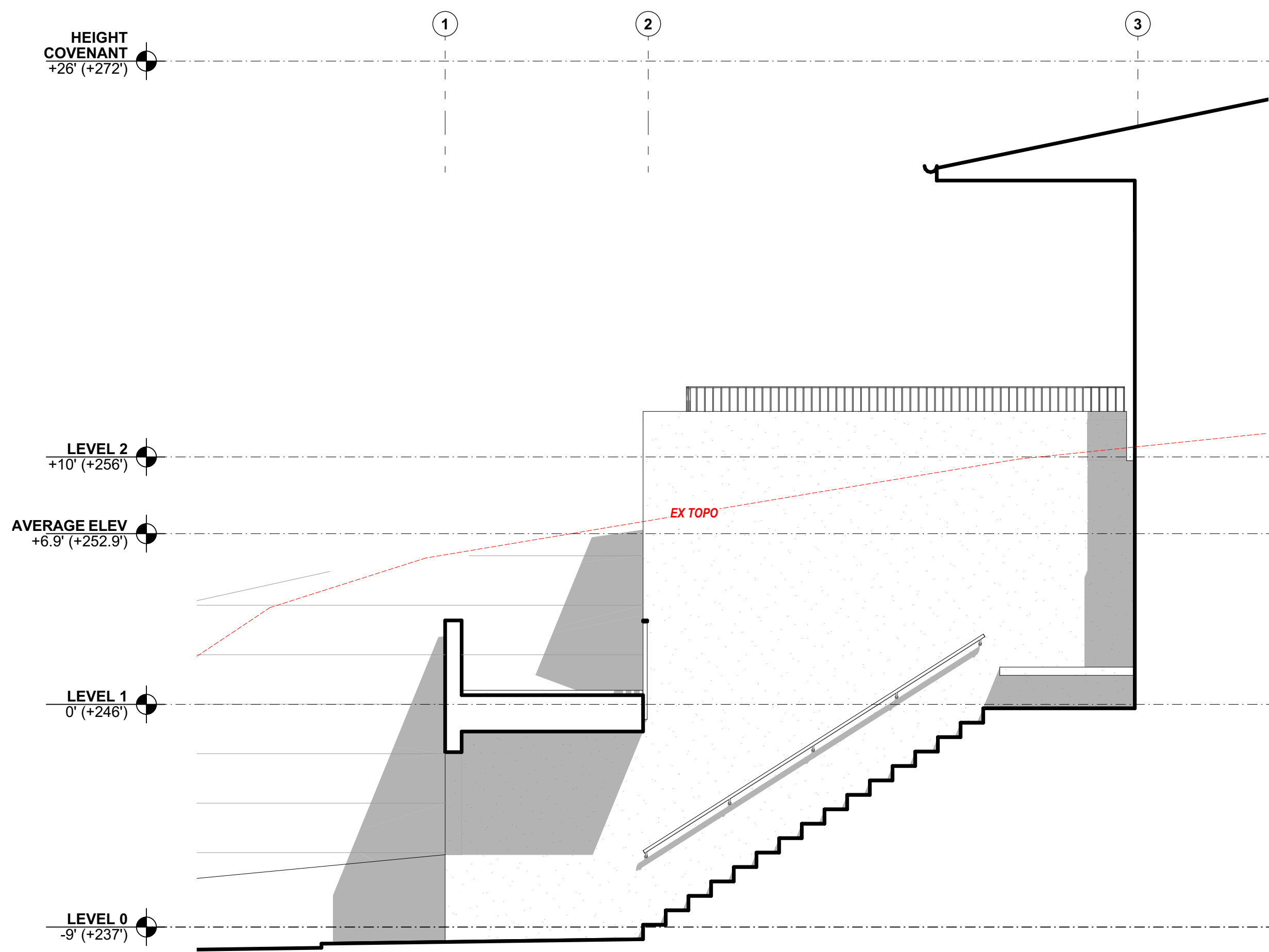
CONTACT
SHED ARCHITECTURE & DESIGN
1401 S JACKSON ST
SEATTLE, WA 98144
206.320.8700

PROJECT
SULLIVAN
3024 69th Ave SE
MERCER ISLAND, WA 98040

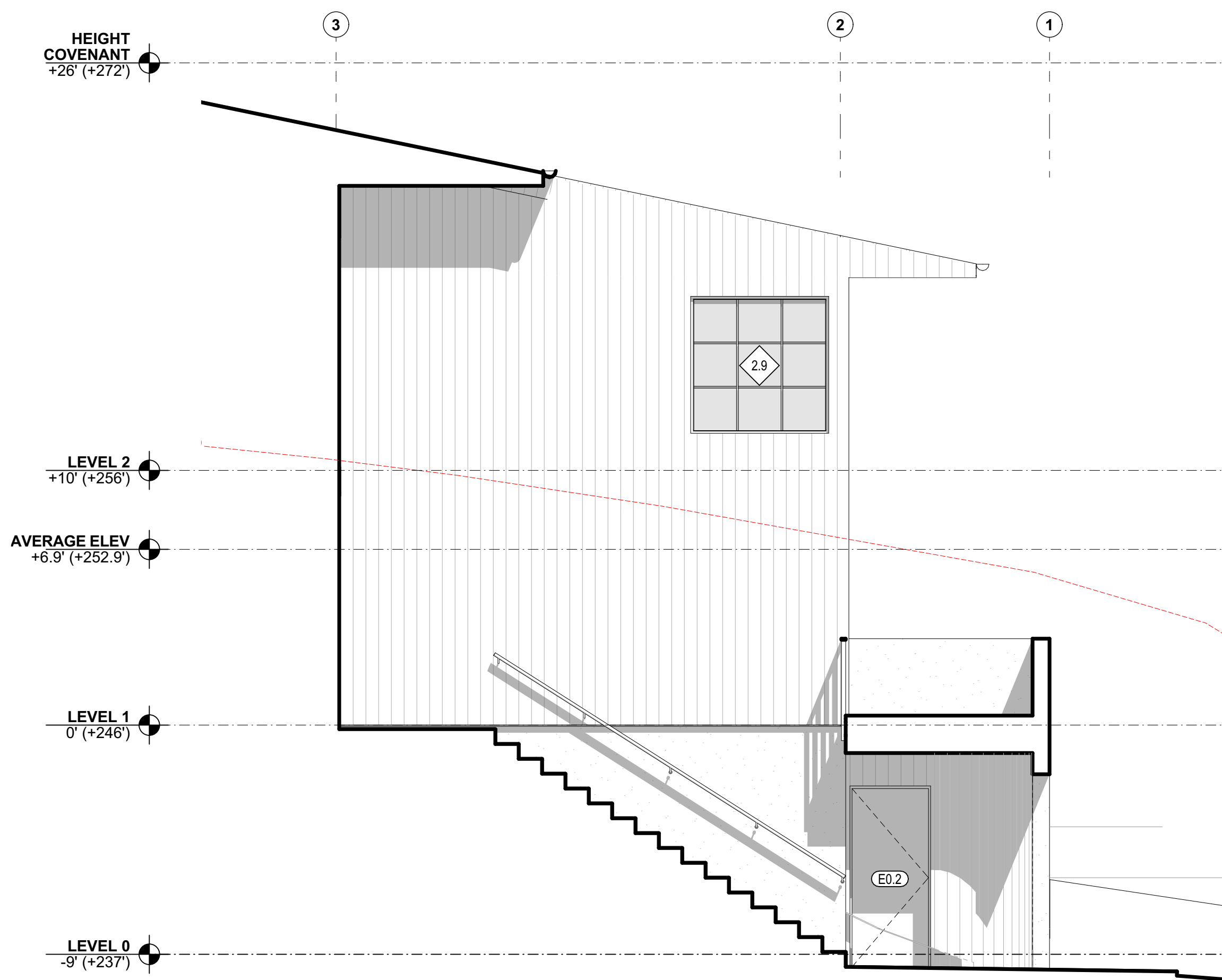
ISSUE	DATE
PRE APP #1 (PRE22-0433)	2022.08.16
CRITICAL AREA REVIEW 2	2022.12.06

DRAWING TITLE
EXTERIOR ELEVATIONS

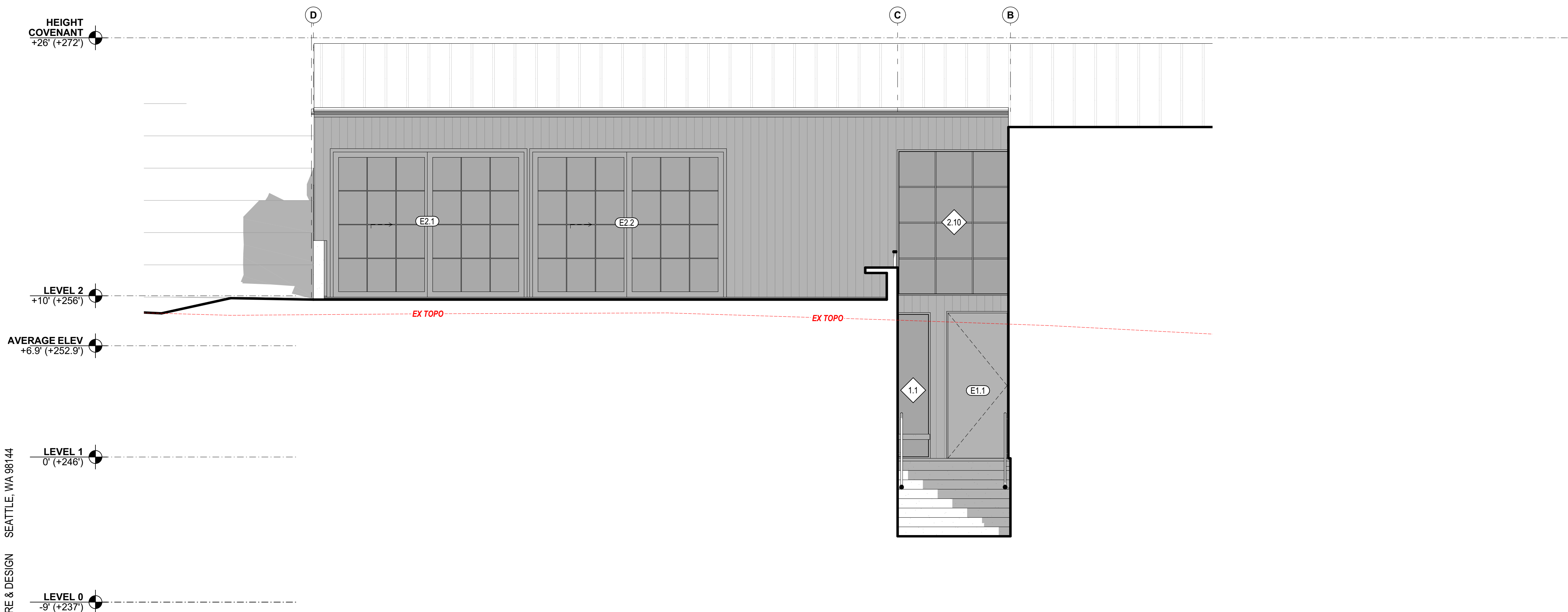
ELEVATION NOTES:
A. ALL DIMS ARE TO FACE OF FINISH U.N.O.



1 ENTRY - NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 ENTRY - SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 ENTRY - WEST ELEVATION
SCALE: 1/4" = 1'-0"



CONTACT
SHED ARCHITECTURE & DESIGN
1401 S JACKSON ST
SEATTLE, WA 98144
206.320.8700

PROJECT
SULLIVAN
3024 69th Ave SE
MERCER ISLAND, WA 98040

ISSUE	DATE
PRE APP #1 (PRE22-0433)	2022.08.16
CRITICAL AREA REVIEW 2	2022.12.06

DRAWING TITLE
EXTERIOR ELEVATIONS