

LOCATION PLAN NOT TO SCALE



SULLIVAN CRITICAL AREA REVIEW 2

R-8.4

>PER MICC 19.02.020.C

>SIDE YARD: 7.5'

TOTAL: 2 PROVIDED

REQUIRED IF GFA>3,000SQFT

VARIABLE SIDE YARD WIDTH PER 19.02.020.C.1.c:

>HOUSE IS TALLER THAN 15' BUT LESS THAN 25'

>PER MICC 19.02.020.G.2.a: 3 PARKING SPACES ARE

>GFA = 2,975.4 SQFT PER CALC IN A-002, LESS THAN 3,000

>LOT LARGER THAN 6,000SQFT

SQFT, SO 2 PARKING SPACES REQUIRED >2 COVERED SPACES ARE PROVIDED IN GARAGE

>FRONT YARD: 20' >REAR YARD: 25'

PROJECT CONTACTS: FIRE: **GENERAL NOTES:** SHEET INDEX: G-000 COVER SHEET SPRINKLERS: THE DRAWINGS ARE INTENDED TO ONLY PARTIALLY JOHN SULLIVAN PER AMMENDMENT TO IRC 17.02.020.B, IRC AV107.2 AN DESCRIBE THE SCOPE OF WORK FOR THE PROJECT. ANY SV-1 SURVEY jwsulli2013@gmail.com APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE WORK NOT SHOWN HERE, BUT REQUIRED BY CODE, OR THE SPECIFICATIONS, OR TO MAKE THE WORK COMPLETE, A-001 SITE PLAN 847.420.1434 INSTALLED THROUGHOUT THE RESIDENCE IN NEW SINGLE FAMILY HOMES SHALL BE PROVIDED AS PART OF THE WORK. A-002 GFA+BASMENT CALC ARCHITECT: IT IS THE INTENT OF THE DOCUMENTS THAT ALL WORK A-111 BASEMENT FLOOR PLAN SHED ARCHITECTURE & DESIGN COMPLIES WITH ALL APPLICABLE LOCAL, STATE & 1401 S JACKSON ST SEATTLE WA 98144 USA NATIONAL CODES / ORDINANCES IN EFFECT AT THE DATE A-112 LEVEL 1 FLOOR PLAN CONTACT: CLAYTON HERBST OF PERMIT SUBMITTAL. NOTHING IN THESE DRAWINGS A-113 LEVEL 2 FLOOR PLAN CLAYTON@SHEDBUILT.COM SHALL BE CONSTRUED TO GRANT APPROVAL FOR ANY 708.567.9476 CODE VIOLATION. ANY ERRORS, INCONSISTENCIES OR A-114 ROOF PLAN OMISSIONS SHALL BE REPORTED PROMPTLY TO THE A-201 EXTERIOR ELEVATIONS STRUCTURAL ENGINEER: DO NOT SCALE THE DRAWINGS. THE CONTRACTOR SHALL A-202 EXTERIOR ELEVATIONS HARRIOTT VALENTINE ENGINEERS INC. CONTACT: JAMES HARRIOTT USE DIMENSIONS SHOWN ON THE DRAWINGS AND ACTUAL FIELD MEASUREMENTS. IF DISCREPANCIES ARE FOUND, A-203 EXTERIOR ELEVATIONS jharriott@harriottvalentine.com 206.624.4760 THE ARCHITECT SHALL BE NOTIFIED AT ONCE. CONTRACTOR SHALL VERIFY THE DIMENSIONS REQUIRED GEOTECHNICAL ENGINEER: FOR ALL EQUIPMENT, APPLIANCES, FIXTURES, CABINETS, COBALT GEOSCIENCES DUCTWORK, AND OPENINGS BEFORE FRAMING BEGINS. CONTACT: PHIL HABERMAN THE CONTRACTOR SHALL COORDINATE WITH THE phil@cobaltgeo.com SUBCONTRACTORS OF ALL TRADES TO VERIFY THE SIZES 206.337.1097 AND LOCATIONS OF OPENINGS THROUGH FLOORS, WALLS CEILINGS, AND ROOFS FOR DUCTS, PIPES, CONDUITS, AND **CIVIL ENGINEER:** EQUIPMENT. THE CONTRACTOR SHALL COORDINATE THE INTERLAKEN ENGINEERING LOCATION AND INSTALLATION OF WOOD BACKING, CONTACT: MATTHEW HARINGA BLOCKING, FURRING, AND STRIPPING AS REQUIRED FOR matt@interlakenengineering.com THE INSTALLATION AND ATTACHMENT OF WORK OF ALL 206.470.9572 MECHANICAL ENGINEER: PROVIDE FIRE RESISTANCE CLOSURE MEETING THE BEYOND EFFICIENCY REQUIREMENTS OF THE GOVERNING FIRE AUTHORITIES CONTACT: NATHAN RUSSELL AT ALL GAPS AROUND PENETRATING DUCTS, PIPES, CONDUITS, ETC., AT ALL FIRE RATED BUILDING WALLS. nate@beyondefficiency.us 307.200.7236 PARTITIONS, CEILINGS, FLOORS AND ROOFS. COORDINATE WITH MECHANICAL AND ELECTRICAL ARBORIST: CONTACTORS FOR EXACT LOCATIONS, TYPES AND SIZE OLYMPIC NURSERY, INC OF ACCESS DOORS REQUIRED BY THEIR WORK. PROVIDE CONTACT: TOM QUIGLEY ACCESS FOR ALL CONCEALED VALVES, DAMPER tlquigley@msn.com CONTROLS, FIRE DAMPER LINKAGE, ELECTRICAL 206.850.2643 JUNCTION BOXES, ETC.. DRAWINGS MAY NOT SHOW ALL REQUIRED ACCESS PANELS. INDICATE REQUIRED ACCESS CONTRACTOR: DOORS ON THE COORDINATION DRAWINGS. OBTAIN ARCHITECT'S APPROVAL FOR LOCATIONS OF ACCESS CONTACT: TBD DOORS PRIOR TO INSTALLATION. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PROJECT INFO: PERMITS AND GOVERNMENTAL FEES, LICENSES AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION PROJECT DESCRIPTION: AND COMPLETION OF THE WORK, WITH THE EXCEPTION NEW CONSTRUCTION, SINGLE-FAMILY RESIDENCE OF THE MATER USE PERMIT AND THE BUILDING PERMIT. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION **PROJECT ADDRESS:** OR SITE DEVELOPMENT ACTIVITY, THE CONTRACTOR 3024 69TH AVE SE SHALL SCHEDULE PRE-CONSTRUCTION MEETINGS WITH MERCER ISLAND, WA, 98040 THE APPROPRIATE REGULATORY ENTITIES. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION **LEGAL DESCRIPTION:** OR SITE DEVELOPMENT ACTIVITY, THE CONTRACTOR EAST SEATTLE BLKS 39-40 AND/OR ARCHITECT SHALL SCHEDULE A PRE-PLAT BLOCK: 40 CONSTRUCTION MEETING WITH THE PROJECT TEAM PLAT LOT: 17-18-19 MEMBERS FOR THE PURPOSE OF ANSWERING INITIAL QUARTER, SECTION, TOWNSHIP, RANGE: NW-12-24-4 QUESTIONS, CLARIFYING AREAS OF CONCERN, AND FORMALIZING A CONSTRUCTION ADMINISTRATION **PARCEL NUMBER:** PROCESS. THE MEETING SHALL INCLUDE THE ARCHITECT, 217510-0315 GENERAL CONTRACTOR, OWNER, STRUCTURAL ENGINEER AND CIVIL ENGINEER. **EASEMENTS:** No. 4635710 SEWER EASEMENT (5' SOUTH SIDE YARD) CODES: COVENANTS W/ NEIGHBORING PROP. @ 3015 70TH AVE SE THIS PROJECT SHALL COMPLY WITH THE FOLLOWING >VIEW EASEMENT (HEIGHT RESTRICTION 272' ABV SEA LEVEL) CODES: >UTILITY EASEMENT (10' NORTH SIDE YARD) >YARD EASEMENT (18' REAR YARD) MERCER ISLAND CITY CODE 2018 INTERNATIONAL BUILDING CODE **BUILDING NOTES:** 2018 INTERNATIONAL RESIDENTIAL CODE 2018 INTERNATIONAL MECHANICAL CODE NATIONAL FUEL GAS CODE (ANSI Z223.1/NFPA 54) **CONSTRUCTION TYPE:** LIQUEFIED PATROLEUM (NFPA 58) VB, SPRINKLERED INTERNATIONAL FUEL GAS CODE 2018 INTERNATIONAL FIRE CODE **DWELLINGS:** 1 HOUSE 2018 UNIFORM PLUMBING CODE #BEDROOMS: 4 WASHINGTON STATE ENERGY CODE #BATHROOMS: 3 **LAND USE NOTES: LOT AREA:** 8,652 SQFT LOT COVERAGE: REFER TO DIAGRAM ON 3/A-001 LOT SLOPE: 28.7%, REFER TO DIAGRAM ON 3/A-001 **GROSS FLOOR AREA:** REFER TO DIAGRAM ON 5/A-002 PROPOSED BUILDING HIEGHT: >19.3' ABV AVERAGE GRADE >REFER TO 4/A-001 FOR AVERAGE GRADE CALC SETBACKS:



ARCHITECT

CONTACT

SHED ARCHITECTURE & DESIGN 1401 S JACKSON ST SEATTLE, WA 98144 206.320.8700

PROJECT

SULLIVAN 3024 69th Ave SE

MERCER ISLAND, WA 98040

PRE APP #1 (PRE22-0433) CRITICAL AREA REVIEW 2 DATE

2022.08.16

2022.12.06

DRAWING TITLE

COVER SHEET

G-000

BOUNDARY AND TOPOGRAPHIC SURVEY A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER LEGAL DESCRIPTION: SECTION 12, TOWNSHIP 24 NORTH, RANGE 04 EAST, W.M., CITY OF MERCER ISLAND, KING COUNTY, WASHINGTON TAX PARCEL NUMBER 217510-0330-04: LOTS 20, 21 AND 22, BLOCK 40, EAST SEATTLE BLOCKS 39 & 40, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 4 OF PLATS, PAGE 21, RECORDS OF KING COUNTY, WASHINGTON. TAX PARCEL NUMBER 271510-0315-03: LOTS 17, 18 AND 19, BLOCK 40, EAST SEATTLE BLOCKS 39 & 40, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 4 OF PLATS, PAGE 21, RECORDS OF KING COUNTY, WASHINGTON. RIM = 284.3712" CONC=282.71(N) ALL SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON. 12" CONC=282.71(S) LEGEND: TITLE RESTRICTIONS: TAX PARCEL NUMBER 217510-0330-04: FOUND SECTION CORNER AS NOTED -----1. THIS SITE IS SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, FOUND QUARTER CORNER AS NOTED EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND FOUND MONUMENT AS NOTED OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL FOUND CORNER MONUMENT AS NOTED STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE LAW, AS SET FORTH ON THE PLAT OF EAST SEATTLE BLOCKS FOUND PK NAIL AND WASHER AS NOTED 39 & 40, RECORDING NUMBER 40295. 2. THIS SITE IS SUBJECT TO A 5' SIDE SEWER EASEMENT, AS DISCLOSED BY DOCUMENT RECORDED UNDER RECORDING NUMBER 8811301386. THIS EASEMENT CONTAINS A PROVISION FOR BEARING A POWER METER PROPORTIONATE OR EQUAL COST OF MAINTENANCE, REPAIR OR RECONSTRUCTION OF SAID SIDE SEWER BY THE COMMON USERS. THIS EASEMENT IS SHOWN HEREON. POWER POLE 3. THIS SITE IS SUBJECT TO RESERVATIONS AND EXCEPTIONS IN UNITED STATES PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF; INDIAN TREATY OR ABORIGINAL RIGHTS. 22 WATER VALVE 4. THIS SITE IS SUBJECT TO CITY, COUNTY OR LOCAL IMPROVEMENT DISTRICT ASSESSMENTS, IF ANY. 5. THIS SITE IS SUBJECT TO ANY UNRECORDED LEASEHOLDS. RIGHT OF VENDORS AND HOLDERS OF WATER SPIGOT TPN 2174501325 SECURITY INTERESTS ON PERSONAL PROPERTY INSTALLED UPON THE LAND AND RIGHTS OF TENANTS FIRE HYDRANT TO REMOVE TRADE FIXTURES AT THE EXPIRATION OF THE TERMS. -----STORM DRAIN CATCH BASIN TAX PARCEL NUMBER 217510-0315-03: SANITARY SEWER MANHOLE 1. THIS SITE IS SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, RIM = 283.3012" CONC=282.10(N) 21 GAS VALVE MILLA SUB 17-005 EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT REC. NO. 20171019900001 12" DUCTILE=281.86(S) VERTICAL BOARD FENCE NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL 4" PVC=282.15(E) STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF 4" PVC=282.12(E) FOUND 1/2" REBAR AND CAP HORIZONTAL BOARD FENCE - FOUND 1/2" REBAR AND CAP INCOME, AS SET FORTH IN APPLICABLE LAW, AS SET FORTH ON THE PLAT OF EAST SEATTLE BLOCKS "GEO-D" LS#51800, 0.1' UP "TERRANE 15025, 46876, 51800" 39 & 40, RECORDING NUMBER 40295. BASKETBALL CHAINLINK FENCE VISITED MAY 17, 2021 VISITED MAY 14, 2021 BACKBOARD THIS SITE IS SUBJECT TO AN EASEMENT GRANTED TO MERCER ISLAND SEWER DISTRICT FOR RIM=283.64' HEIGHT=270.2± WROUGHT IRON FENCE SEWER. RECORDED UNDER RECORDING NUMBER 4635710. THIS EASEMENT IS SHOWN HEREON. PARCEL A 8" CONC=275.84(N) 8" CONC=275.89(S) THIS SITE IS SUBJECT TO CITY, COUNTY OR LOCAL IMPROVEMENT DISTRICT ASSESSMENTS, IF DECIDUOUS TREE POWER POLE WITH -UNDERGROUND — 3.5' CLF EVERGREEN TREE SURVEYOR'S NOTES TPN 2174501315 N88'49'27"W 200.00 1. ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM FIDELITY NATIONAL TITLE -----____ SANITARY SEWER LINE COMPANY OF WASHINGTON, COMMITMENTS NO. 611287325, DATED MAY 10, 2021AND NO. 611287326, DATED MAY 12, 2021. IN PREPARING THIS MAP, D.R. STRONG CONSULTING ENGINEERS INC. HAS = = = = STORM LINE CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS D.R. STRONG CONSULTING ENGINEERS INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP RIM = 234.74OVERHEAD POWER AND DISCLOSED BY REFERENCED FIDELITY NATIONAL TITLE COMPANY COMMITMENTS. D.R. STRONG 12" CPP=232.64(N) RIM = 283.26CONSULTING ENGINEERS INC. HAS RELIED WHOLLY ON FIDELITY NATIONAL TITLE COMPANY UNDERGROUND WATER 12" DUCTILE=281.40(N)¹⁹ 12" CPP=232.34(S) REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE D.R. STRONG ------12" DUCTILE=281.43(S) CONSULTING ENGINEERS INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT. RIM=274.47 EDGE OF PAVEMENT $_4$ "_CQNC=271.22(S) 2. THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON MAY 14 AND 6" CONC=271.05(N) ——X———X— 17, 2021. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT ON MAY CONCRETE TPN 217510315 - FOUND 1" O.D. IRON PIPE WITH CAP AND TACK, "20764" 3. PROPERTY AREA = $17,300 \pm \text{ SQUARE FEET } (0.397 \pm \text{ ACRES})$ VISITED MAY 14, 2021 ,HOUSE WITH/ 4. ALL DISTANCES ARE IN U.S. SURVEY FEET. GARAGE 4" CONC=272.82(N) RIM = 282.795. THIS IS A COMBINED FIELD TRAVERSE AND GLOBAL POSITIONING SYSTEM SURVEY. A TRIMBLE ONE-4" CONC=272.88(SE) ------" DUCTILE=281.21(N SECOND COMBINED ELECTRONIC TOTAL STATION AND A TRIMBLE R12I GLOBAL POSITIONING SYSTEM # CONC=272.93(W) 12" DUCTILE=281.24(S) WERE USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN, UTILIZING RTK OBSERVATIONS USING THE WSRN. CLOSURE RATIOS OF 4" PVC=281.39(E) THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN WAC 332-130-090. ALL MEASURING TPN 217510330 INSTRUMENTS AND EQUIPMENT ARE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S 3015 70TH AVENUE SE TPN 2174501305 RIM = 282.08RIM = 230.866" DUCTILE=281.03(SE) 12" CPP=230.06(N) 6. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE ARE SHOWN HEREON. UNDERGROUND 12" CPP=230.11(S) - CB T-1 UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS RIM = 282.14STRAIGHT LINES BETWEEN SURFACE UTILITY LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT 12" DUCTILE=280.92(N) SHOWN. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC 12" DUCTILE=280.94(S) RECORDS. D.R. STRONG CONSULTING ENGINEERS INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF 6" DUCTILE=280.87 (NW) 7. CONTOUR INTERVAL = 2 FOOT. CONTOURS SHOWN ARE PRODUCED FROM A DIGITAL TERRAIN MODEL DERIVED FROM DIRECT FIELD OBSERVATIONS OBTAINED DURING THE COURSE OF THE FIELD TRAVERSE HEIGHT=273.7' \pm apparent location of 5'ightharpoonsS' SANITARY SEWER SANITARY SEWER EASEMENT, SURVEY. CONTOUR ACCURACY COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS (AT LEAST 90 EASEMENT, REC. NO. -PERCENT OF THE ELEVATIONS ACCURATE WITHIN ONE-HALF THE CONTOUR INTERVAL). REC. NO. 4635710 4635710 TPN 217510305 REFERENCES: RIM = 281.49------12" DUCTILE=279.99(N) NORTH (P) PLAT OF EAST SEATTLE BLOCKS 39 & 40, VOLUME 4, PAGE 21 12" DUCTILE=279.84(S) (R1) RECORD OF SURVEY, RECORDING NO. 20091020900014 -----(R2) RECORD OF SURVEY, RECORDING NO. 20191115900004 TPN 2174501290 (R3) RECORD OF SURVEY, RECORDING NO. 20080415900004 1 INCH = 20 FT.(R4) RECORD OF SURVEY, RECORDING NO. 20171015900001 HORIZONTAL DATUM: BASIS OF BEARINGS: NAD83-2011 EPOCH 2010.00 WASHINGTON PLANE COORDINATE SYSTEM - NORTH ZONE NORTH 88°29'47" WEST BETWEEN THE MONUMENTS FOUND IN PLACE ALONG SE 32ND STREET, PER GPS OBSERVATIONS **VERTICAL DATUM:** TPN 2175100295 TPN 2175100355 NAVD88 PER GPS OBSERVATIONS **BENCHMARK:** REBAR AND CAP SET 2.00' EAST OF THE EAST EDGE OF PAVEMENT ON 70TH AVENUE SE ACROSS THE STREET FROM THE NORTHEAST CORNER OF HOUSE 3015; 22.00' EAST OF POWER POLE 221604-165197 ELEVATION DETERMINED BY GPS OBSERVATION = 283.43' - FOUND 2-1/2" BRASS DISK IN CONCRETE MONUMENT WITH PUNCH IN MONUMENT CASE, DOWN 0.46' VISITED MAY 14, 2021 SE 32ND STREET FOUND 1-3/4" BRASS DISK IN -618.58'(C) 618.59'(R1) CONCRETE MONUMENT WITH "X" IN 378.58'(C)

240.00'(C) | 240.01'(R2)

N88*49'27"W 1118.58'(M) 1118.59'(R1) 1118.61'(R3)

SHEET: 1 OF 1 COPYRIGHT © 2021, D.R. STRONG CONSULTING ENGINEERS INC.

MONUMENT CASE, DOWN 1.78'

500.00'(C)(R1)

VISITED MAY 14, 2021

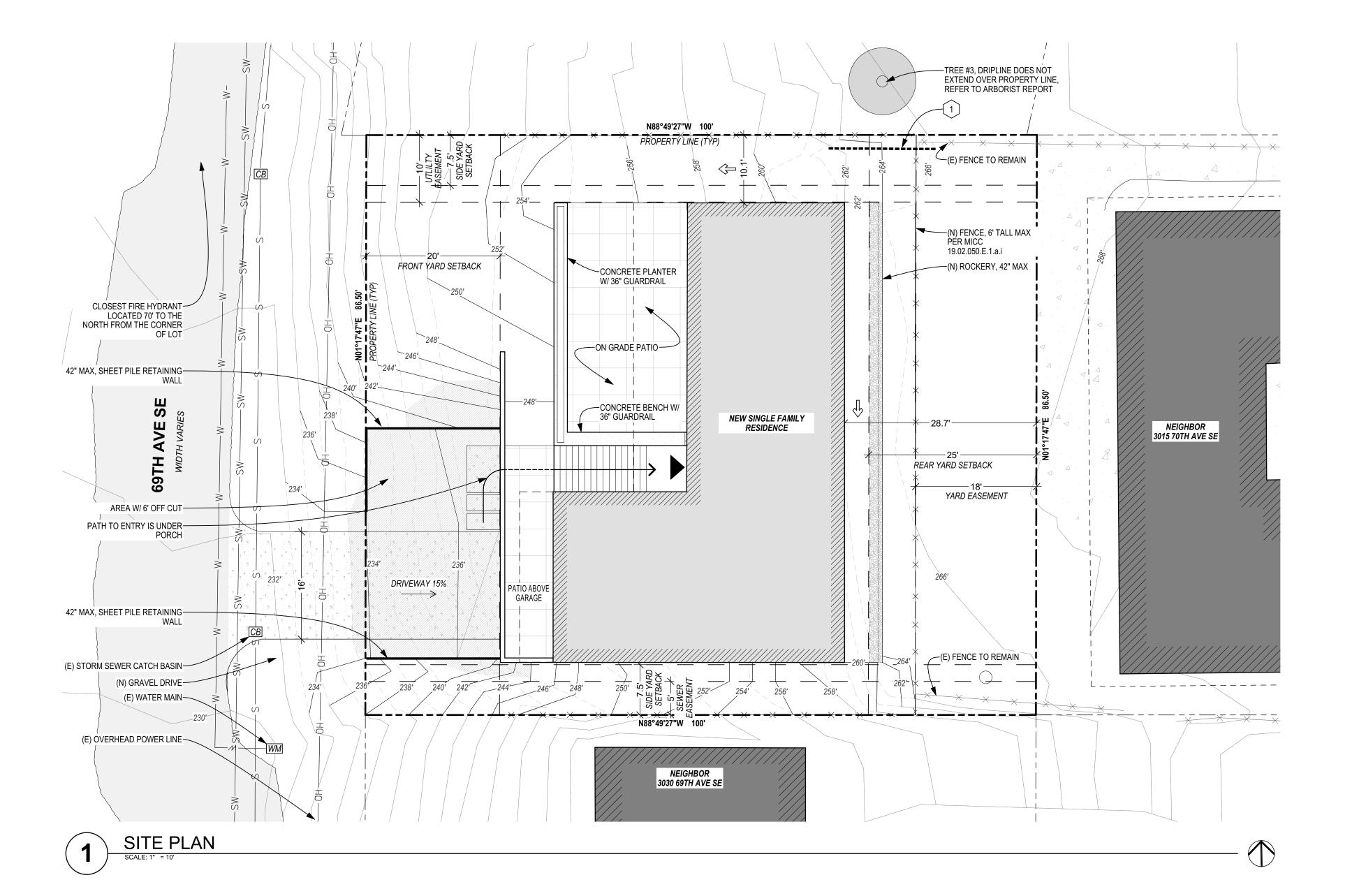
D.R. STRONG **CONSULTING ENGINEERS**

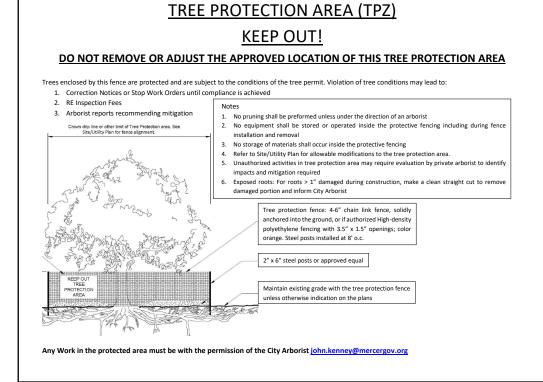
ENGINEERS PLANNERS SURVEYORS 620 - 7th AVENUE KIRKLAND, WA 98033 O 425.827.3063 F 425.827.2423

AND



PROJECT SURVEYOR: JMS DRAFTED BY: JMS FIELD BOOK: 199 B & D DATE: 05/21/2021 PROJECT NO.: 21065





TREE PROTECTION FENCING DETAIL

ARCHITECTURE & DESIGN . STRUCTURAL, CIVIL, GRADING AND EROSIAN PLANS TO BE

SITE PLAN LEGEND: PRIMARY ENTRANCE

MORE INFORMATION

SITE PLAN NOTES:

PROPERTY/SETBACK LINES.

ENGINEERS.

A. RE: SURVEY FOR ADDITIONAL EXISTING SITE

INFORMATION. ALL ELEVATIONS ARE BASED ON SURVEY

DATED MAY 21, 2021 BY D.R. STRONG CONSULTING

. ALL DIMENSIONS ARE TO FACE OF CONC / FINISH, U.N.O.

ALL DIMENSIONS TO PROPERTY/SETBACK LINES ARE

15' LONG TREE PROTECTION TO BE PLACED 2' INSIDE

PRODUCED BY OLYMPIC NURSERY ON 12.06.2022 FOR

PROPERTY LINE, REFER TO ARBORIST REPORT

MEASURED AT ANGLES PERPENDICULAR TO

SUBMITTED AT TIME OF BUILDING PERMIT

SITE PLAN KEY NOTES: (#)

NATURAL DRAINAGE FLOW DIRECTION SPOT ELEVATION

NEW TOPO CONTOUR

(E) TOPO CONTOUR TO REMAIN

RESHAPED (E) TOPO CONTOUR

EXISTING OVERHEAD POWER POLE

CONCRETE (SLAB-ON GRADE)

--- PROPERTY LINE

— — — — PROPERTY SETBACK LINE POWER LINE (OVERHEAD)

POWER LINE (BURIED) ——

TELEPHONE LINE

SEWER LINE STORMWATER PIPE

WATER LINE STORMWATER CATCH BASIN

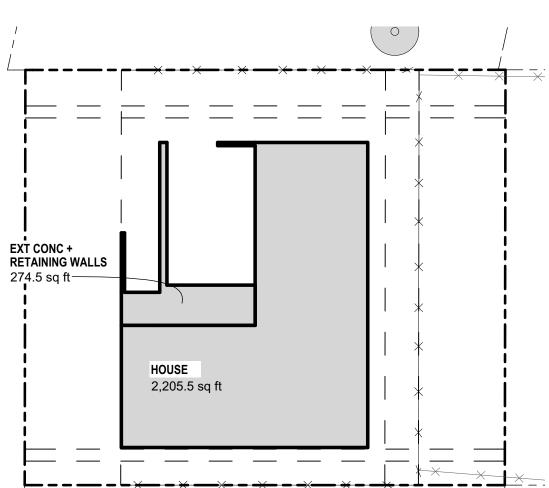
NEW STRUCTURE FOOTPRINT NEW OUTDOOR PATIO FOOTPRINT

NEIGHBORING STRUCTURES

23.5' +259' +262' 51.3'

AVERAGE HEIGHT CALCULATION

AVERAGE HEIGHT CALC: >PER MICC 19.02.020.E.4 WEIGHTED SUM OF MID-POINT ELEVATIONS / TOTAL LENGTH OF WALL SEGMENTS (23.5)(259)+(68.5)(262)+(51.3)(250)+(25.5)(237)+(27.8)(242)+(43.1)(255) / (23.5+68.5+51.3+25.5+27.8+43.1) 60,620.1/239.7 = AVERAGE HEIGHT = 252.9'



PROJECT SULLIVAN

206.320.8700

1401 S JACKSON ST SEATTLE, WA 98144

CONTACT

3024 69th Ave SE MERCER ISLAND, WA 98040

SHED ARCHITECTURE & DESIGN

DATE PRE APP #1 (PRE22-0433) 2022.08.16 2022.12.06 **CRITICAL AREA REVIEW 2**

REGISTERED ARCHITECT

GREGORY C SHIFFLER

IMPERVIOUS AREA

IMPERVIOUS AREA CALC: 2205.5 SQFT + 274.5 SQFT TOTAL AREA = 2,480 SQFT DRAWING TITLE

SITE PLAN

DEMO (E) LANDSCAPE WALL-DEMO (E) WATER SPIGOT-DEMO (E) METAL GATE DEMO (E) CONCRETE PATIO-DEMO (E) LANDSCAPE WALL.

DEMO AND TREE REMOVAL PLAN

DEMO NOTES:

>TREE DATA BELOW WAS PRODUCED BY OLYMPIC NURSERY, INC, REFER TO ARBORIST REPORT FOR MORE INFORMATION >ARBORIST SHALL BE ON SITE DURING CLEARING TO CONFIRM TREE REMOVAL

TREE #	SPECIES	DBH	DRIP	CNDTN	CNDTN	CNDTN	RMV	RTN
1	COTONEASTER DAMERII	8.5"	6'	FAIR	SHRUB GROWN AND PRUNED TO HAVE TREE-	NOT SIGNIFICANT	YES	
					LIKE FORM. TWO 6" STEMS AT 36"			
2	FIG, FRUITING	3.7"	4'	GOOD	FIVE STEM: 1.0, 1.5, 1.5, 2.0, 2.0 SQ ROOT OF	NOT SIGNIFICANT	YES	
					SUM OF EASH STEM SQUARED			
3	ACER RUBRUM, RED MAPLE	EST 20"	8'	GOOD	OFF-SITE, TO BE PROTECTED AT DRIPLINE	OFF-SITE		YES

LOWEST POINT = 236.9', HEIGHTEST POINT = 267.1', DISTANCE BETWEEN THEM IS 105.3' SLOPE = (267.1-236.9)/105.3 X 100 = 28.7% >PER MICC 19.02.020.F.3.a ALLOWABLE LOT COVERAGE FOR SITE WITH 28.7% SLOPE IS 35% >ALLOWABLE LOT COVERAGE =8,650X0.35= 3,027SQFT AREAS: DRIVEWAY = 378SQFT HOUSE AREA INCLUDING OVERHANGS = 2,643.5 TOTAL = 3,021.5 SQFT PROPOSED < 3,027 SQFT ALLOWED HARDSCAPE:

>LOT AREA = 8,652 >PER MICC 19.02.020.F.3.a ALLOWABLE HARDSCAPE FOR LOT LARGER THAN 8,400 SQFT IS 9% >ALLOWABLE HARDSCAPE AREA =8,650X0.09= 778.5SQFT TOTAL = 653 SQFT PROPOSED < 778.5 SQFT ALLOWED

HEIGHEST POINT

ON SITE+268.1'

REQUIRED LANDSCAPE AREA:

SOFTSCAPE AREA

_5,0<u>25.5</u> sq <u>ft</u>__

DRIVEWAY

378 sq ft

HARDSCAPE

653 sq ft

2,643.5 sq ft

HOUSE (INCLUDING OVERHANGS)

LOT COVERAGE + LANDSCAPE AREA DIAGRAM

UPPER PATIO (STONE— PAVERS

OUTLINE OF HOUSE-

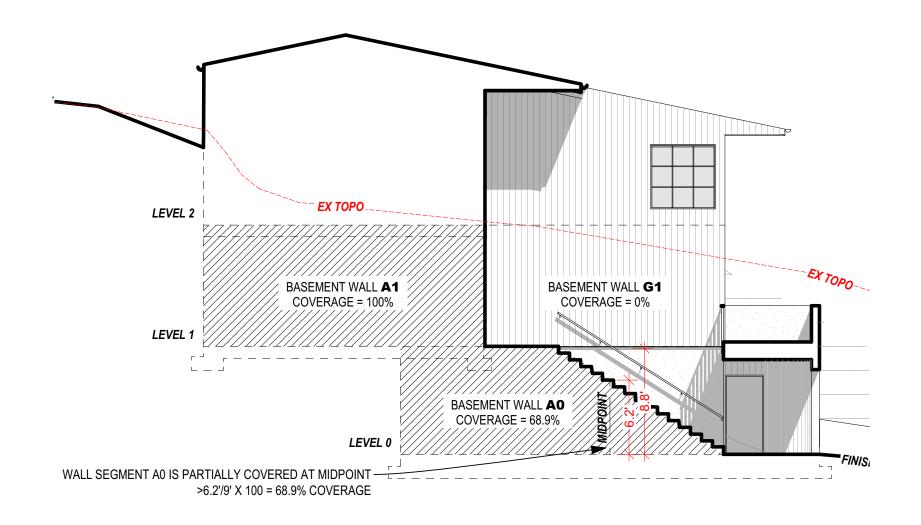
RETAINING WALL-

LOWEST POINT ON SITE+237.8'

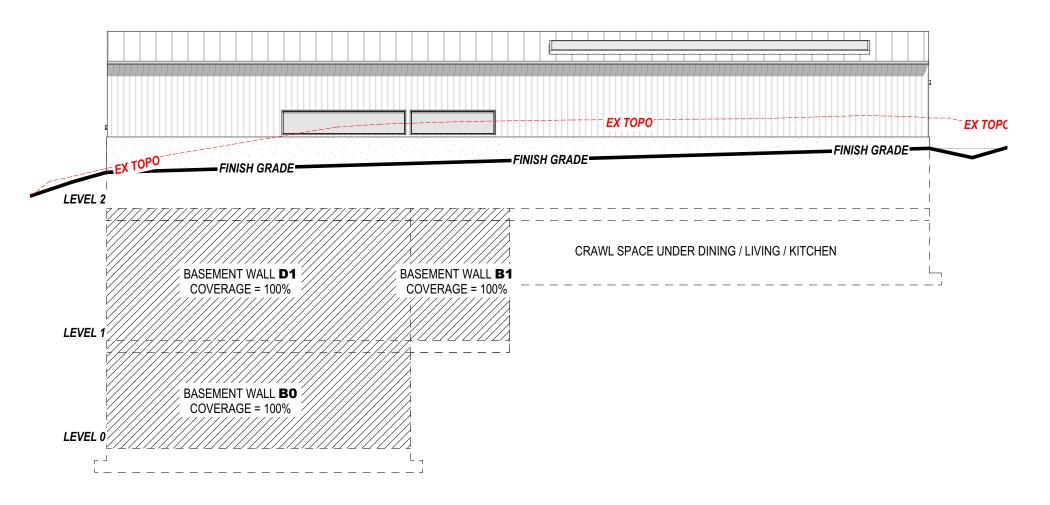
LAND COVERAGE:

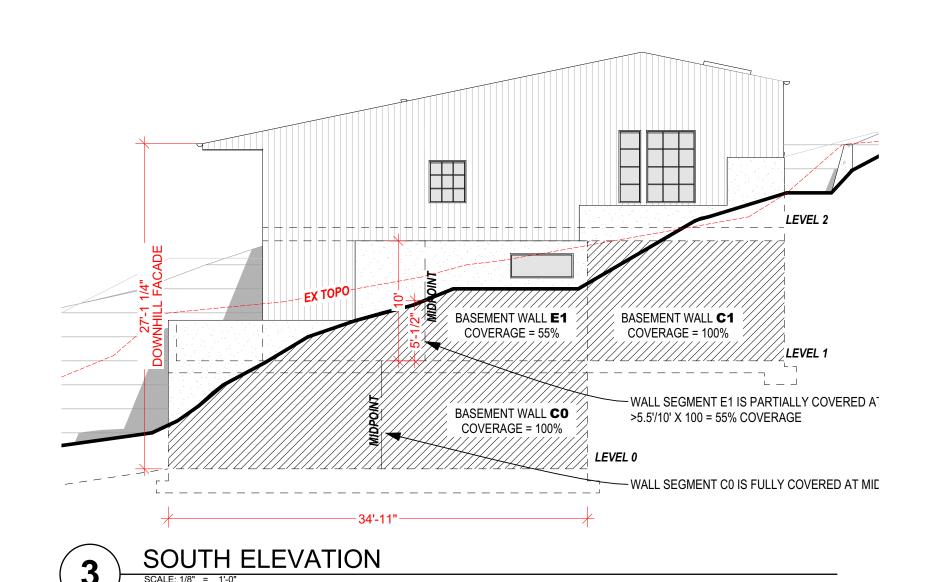
>LOT AREA = 8,652

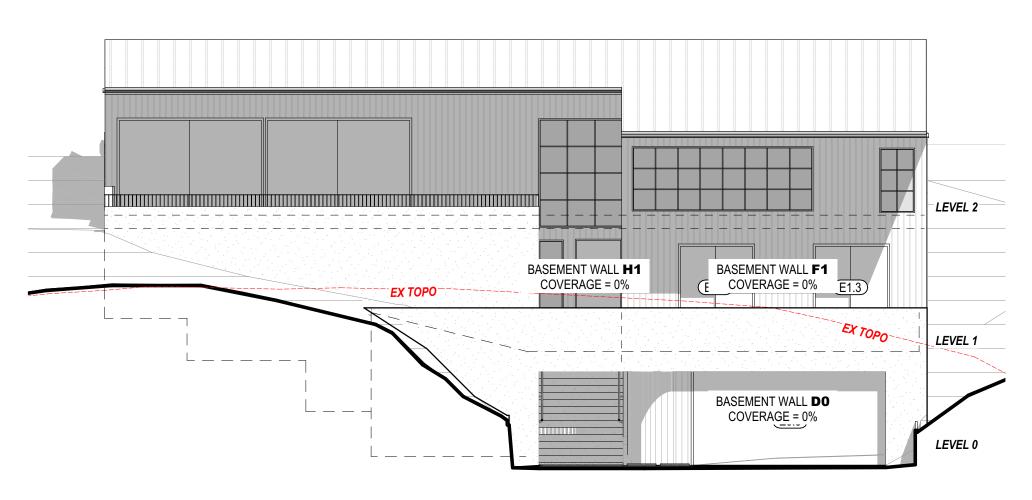
>LOT AREA = 8,652 >PER MICC 19.02.020.F.3.a REQUIRED LANDSCAPING AREA FOR SITE WITH 28.7% SLOPE IS 65% >REQUIRED LANDSCAPE AREA = 8,652X0.65= 5,623.8SQFT >5,025.5 SQFT SOFTSCAPE + 653 SQFT HARDSCAPE = 5,673.5 SQFT LANDSCAPE TOTAL = 5,678.5 SQFT PROPOSED > 5,623.8 SQFT REQ'D



NORTH ELEVATION



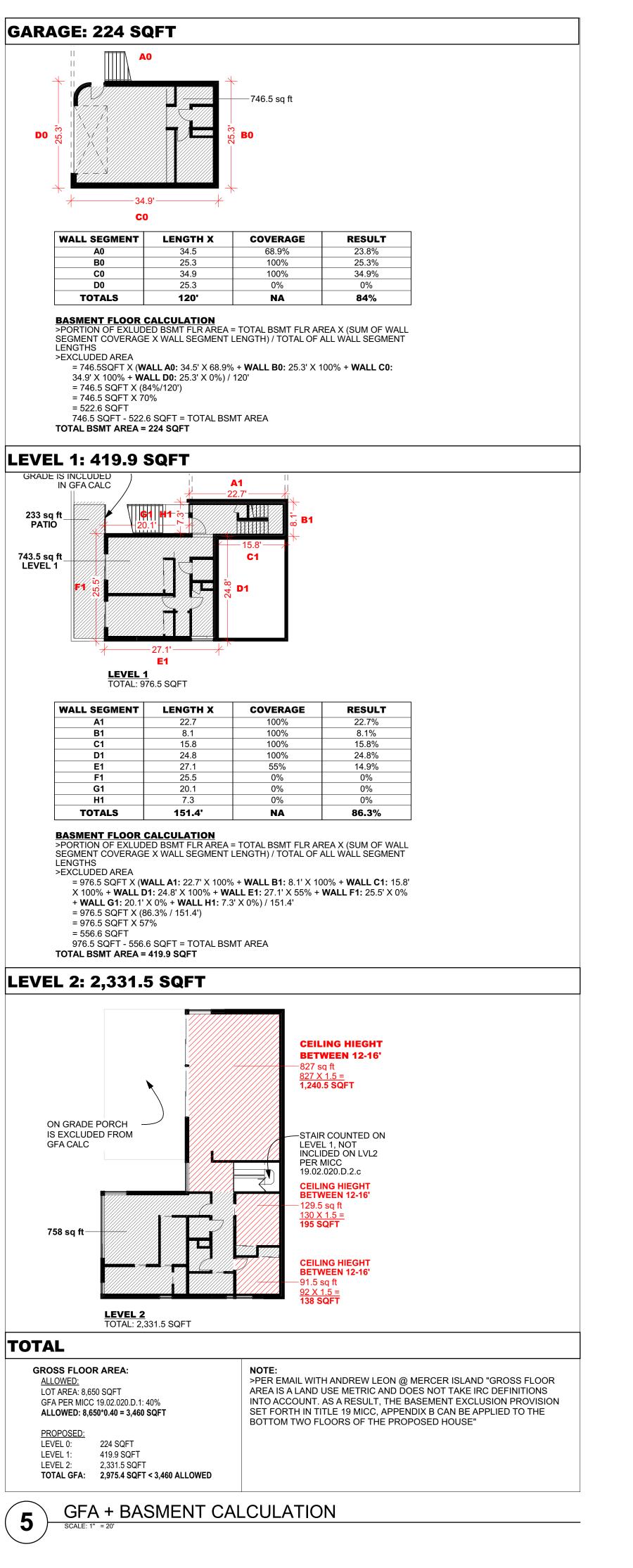




WEST ELEVATION

SCALE: 1/8" = 1'-0"

EAST ELEVATION







CONTACT

SHED ARCHITECTURE & DESIGN 1401 S JACKSON ST SEATTLE, WA 98144 206.320.8700

PROJECT

SULLIVAN 3024 69th Ave SE

MERCER ISLAND, WA 98040

DATE

2022.08.16

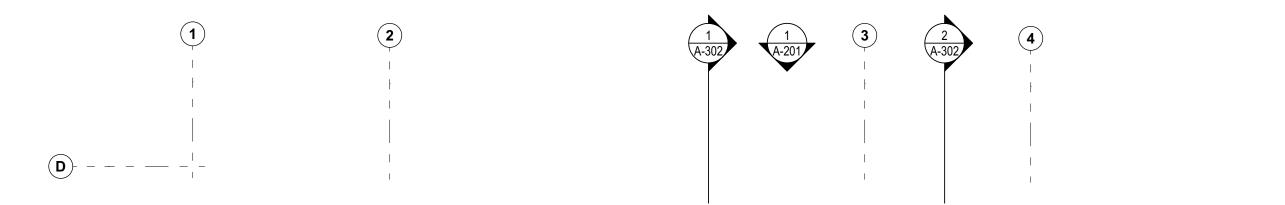
2022.12.06

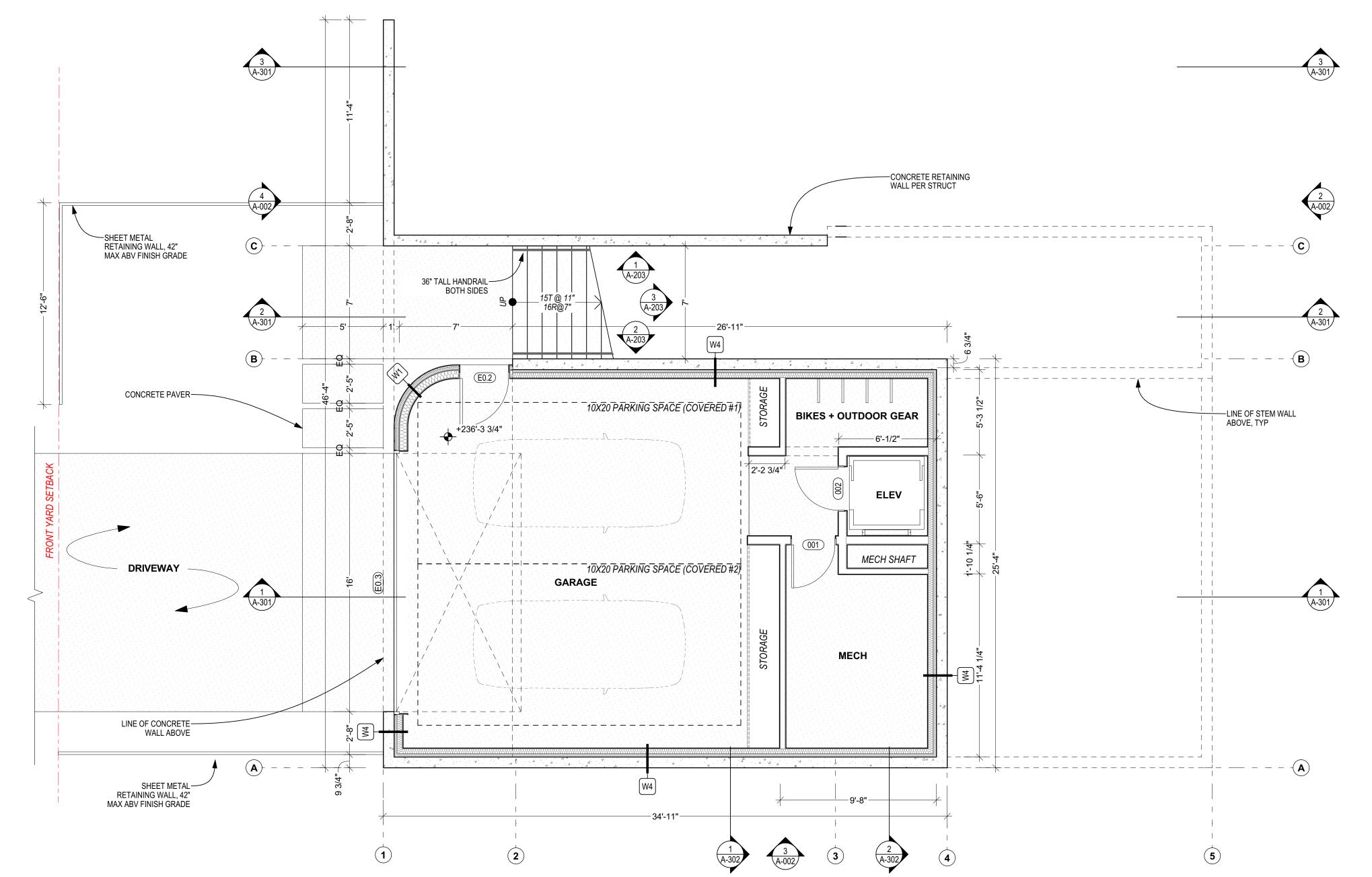
ISSUE
PRE APP #1 (PRE22-0433)
CRITICAL AREA REVIEW 2

DRAWING TITLE

GFA+BASMENT CALC

4-002





- A. ALL DIMS ARE TO F.O. FRAMING OR F.O. CONC, U.N.O.
 B. ALL INDICATED ALIGNMENTS ARE TO F.O. FINISH, U.N.O.
 C. WINDOW OPENING DIMENSIONS ARE MEASURED FROM THE ROUGH OPENING U.N.O. -- RE: SCHEDULES & ELEVATIONS FOR ADDITIONAL INFO.
- D. RE: STRUCTURAL FOR FRAMING INFO.

 E. ALL FLOOR TRANSITIONS SHALL BE AT CENTER OF DOOR LEAF, U.N.O.

PLAN KEY NOTES: (#)

2.

PERMITTING NOTES:

A. PLANS ARE PRELIMINARY. SITE STRATEGY AND LAYOUT WILL NOT BE CHANGING FROM WHAT IS SHOWN IN THIS SET. FULL DRAWING SET WITH ENGINEERING WILL BE SUBMITTED AT TIME OF BUILDING PERMIT, ESTIMATED TIME OF SUBMISSION IS MID JANUARY 2023



ARCHITECTURE & DESIGN

CONTACT

SHED ARCHITECTURE & DESIGN 1401 S JACKSON ST SEATTLE, WA 98144 206.320.8700

PROJECT

SULLIVAN 3024 69th Ave SE

MERCER ISLAND, WA 98040
ISSUE

PRE APP #1 (PRE22-0433) 2022.08.16 CRITICAL AREA REVIEW 2 2022.12.06

DATE

DRAWING TITLE

BASEMENT FLOOR PLAN

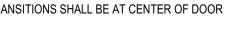
A-111

GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"

JESIGN SEATTLE, WA 98144

- A. ALL DIMS ARE TO F.O. FRAMING OR F.O. CONC, U.N.O. B. ALL INDICATED ALIGNMENTS ARE TO F.O. FINISH, U.N.O. C. WINDOW OPENING DIMENSIONS ARE MEASURED FROM THE ROUGH OPENING U.N.O. -- RE: SCHEDULES & ELEVATIONS FOR ADDITIONAL INFO.
- D. RE: STRUCTURAL FOR FRAMING INFO. E. ALL FLOOR TRANSITIONS SHALL BE AT CENTER OF DOOR LEAF, U.N.O.



PLAN KEY NOTES: (#)

PERMITTING NOTES:

A. PLANS ARE PRELIMINARY. SITE STRATEGY AND LAYOUT WILL NOT BE CHANGING FROM WHAT IS SHOWN IN THIS SET. FULL DRAWING SET WITH ENGINEERING WILL BE SUBMITTED AT TIME OF BUILDING PERMIT, ESTIMATED TIME OF SUBMISSION IS MID JANUARY 2023



REGISTERED ARCHITECT

CONTACT

SHED ARCHITECTURE & DESIGN 1401 S JACKSON ST SEATTLE, WA 98144 206.320.8700

PROJECT

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ISSUE DATE PRE APP #1 (PRE22-0433) CRITICAL AREA REVIEW 2 2022.08.16 2022.12.06

DRAWING TITLE

LEVEL 1 FLOOR PLAN

A-112

LEVEL 1 FLOOR PLAN

SCALE: 1/4" = 1'-0"

LEAF, U.N.O.

- A. ALL DIMS ARE TO F.O. FRAMING OR F.O. CONC, U.N.O. B. ALL INDICATED ALIGNMENTS ARE TO F.O. FINISH, U.N.O. C. WINDOW OPENING DIMENSIONS ARE MEASURED FROM THE ROUGH OPENING U.N.O. -- RE: SCHEDULES & ELEVATIONS FOR ADDITIONAL INFO.
- D. RE: STRUCTURAL FOR FRAMING INFO. E. ALL FLOOR TRANSITIONS SHALL BE AT CENTER OF DOOR



PERMITTING NOTES:

A. PLANS ARE PRELIMINARY. SITE STRATEGY AND LAYOUT WILL NOT BE CHANGING FROM WHAT IS SHOWN IN THIS SET. FULL DRAWING SET WITH ENGINEERING WILL BE SUBMITTED AT TIME OF BUILDING PERMIT, ESTIMATED TIME OF SUBMISSION IS MID JANUARY 2023



ARCHITECT

CONTACT

SHED ARCHITECTURE & DESIGN 1401 S JACKSON ST SEATTLE, WA 98144 206.320.8700

PROJECT

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DRAWING TITLE

LEVEL 2 FLOOR PLAN

A-113

LEVEL 2 FLOOR PLAN

SCALE: 1/4" = 1'-0"

A. ALL DIMS ARE TO F.O. FRAMING OR F.O. CONC, U.N.O. B. ALL INDICATED ALIGNMENTS ARE TO F.O. FINISH, U.N.O.

C. WINDOW OPENING DIMENSIONS <u>ARE MEASURED FROM</u>
<u>THE ROUGH OPENING</u> U.N.O. -- RE: SCHEDULES &
ELEVATIONS FOR ADDITIONAL INFO. D. RE: STRUCTURAL FOR FRAMING INFO.

E. ALL FLOOR TRANSITIONS SHALL BE AT CENTER OF DOOR LEAF, U.N.O.

PLAN KEY NOTES:

PERMITTING NOTES:

A. PLANS ARE PRELIMINARY. SITE STRATEGY AND LAYOUT WILL NOT BE CHANGING FROM WHAT IS SHOWN IN THIS SET. FULL DRAWING SET WITH ENGINEERING WILL BE SUBMITTED AT TIME OF BUILDING PERMIT, ESTIMATED TIME OF SUBMISSION IS MID JANUARY 2023



REGISTERED ARCHITECT

CONTACT

SHED ARCHITECTURE & DESIGN 1401 S JACKSON ST SEATTLE, WA 98144 206.320.8700

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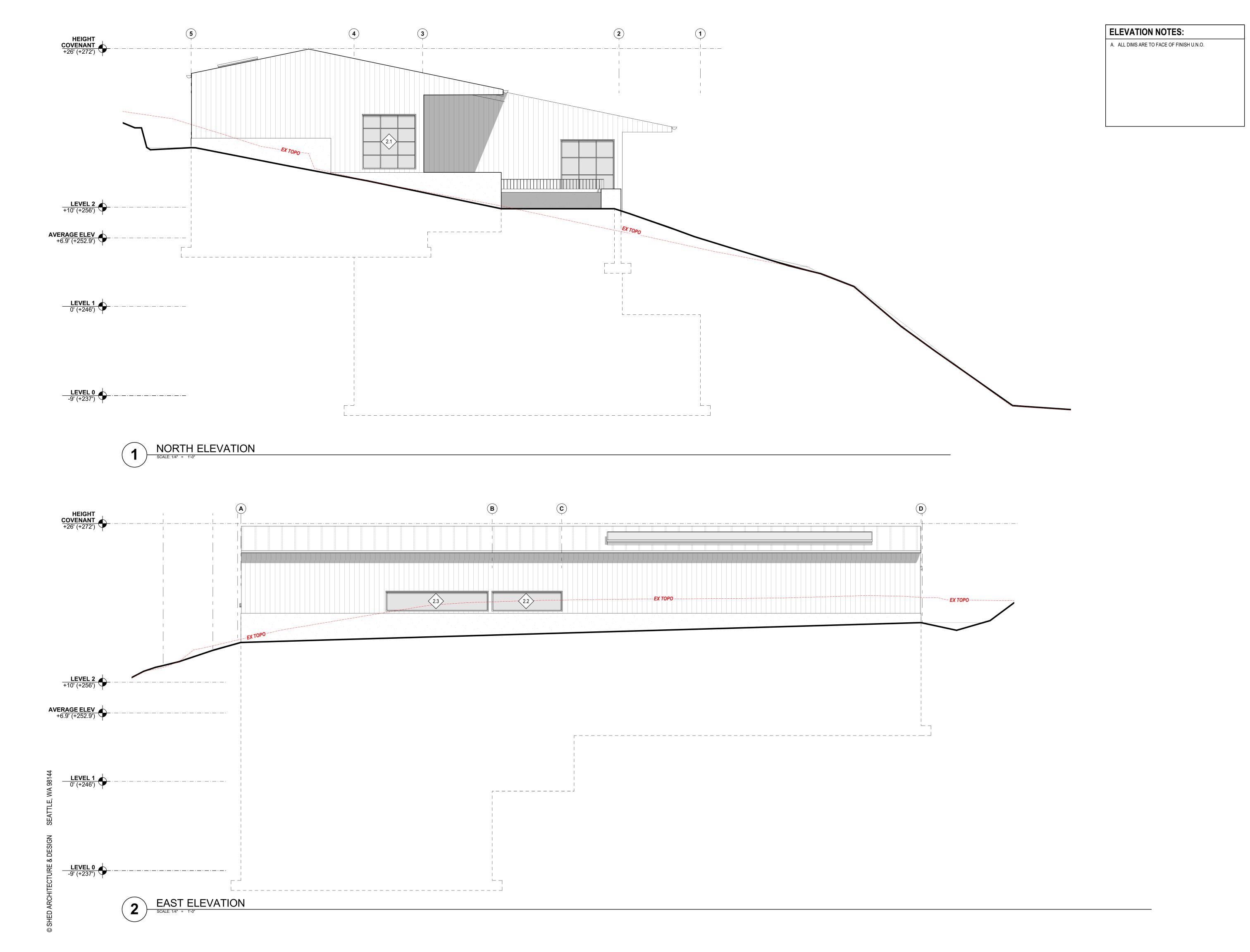
DATE

DRAWING TITLE

ROOF PLAN

LEVEL 2: OPTION A

SCALE: 1/4" = 1'-0"



SHED

ARCHITECTURE & DESIGN

REGISTERED ARCHITECT

GREGORY C SHIFFLER STATE OF WASHINGTON

CONTACT

SHED ARCHITECTURE & DESIGN 1401 S JACKSON ST SEATTLE, WA 98144 206.320.8700

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PRE APP #1 (PRE22-0433)
CRITICAL AREA REVIEW 2

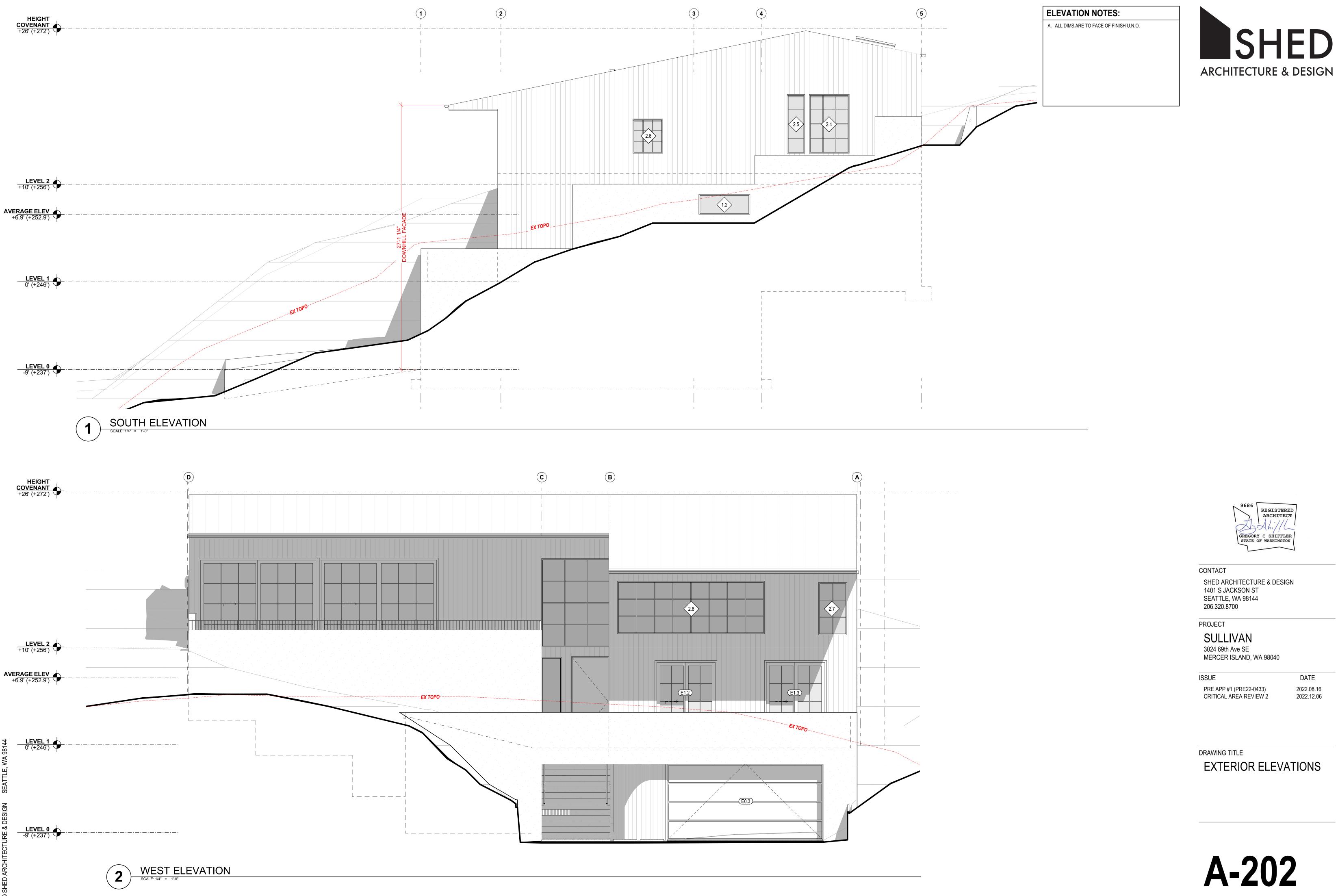
DATE

2022.08.16 2022.12.06

DRAWING TITLE

EXTERIOR ELEVATIONS

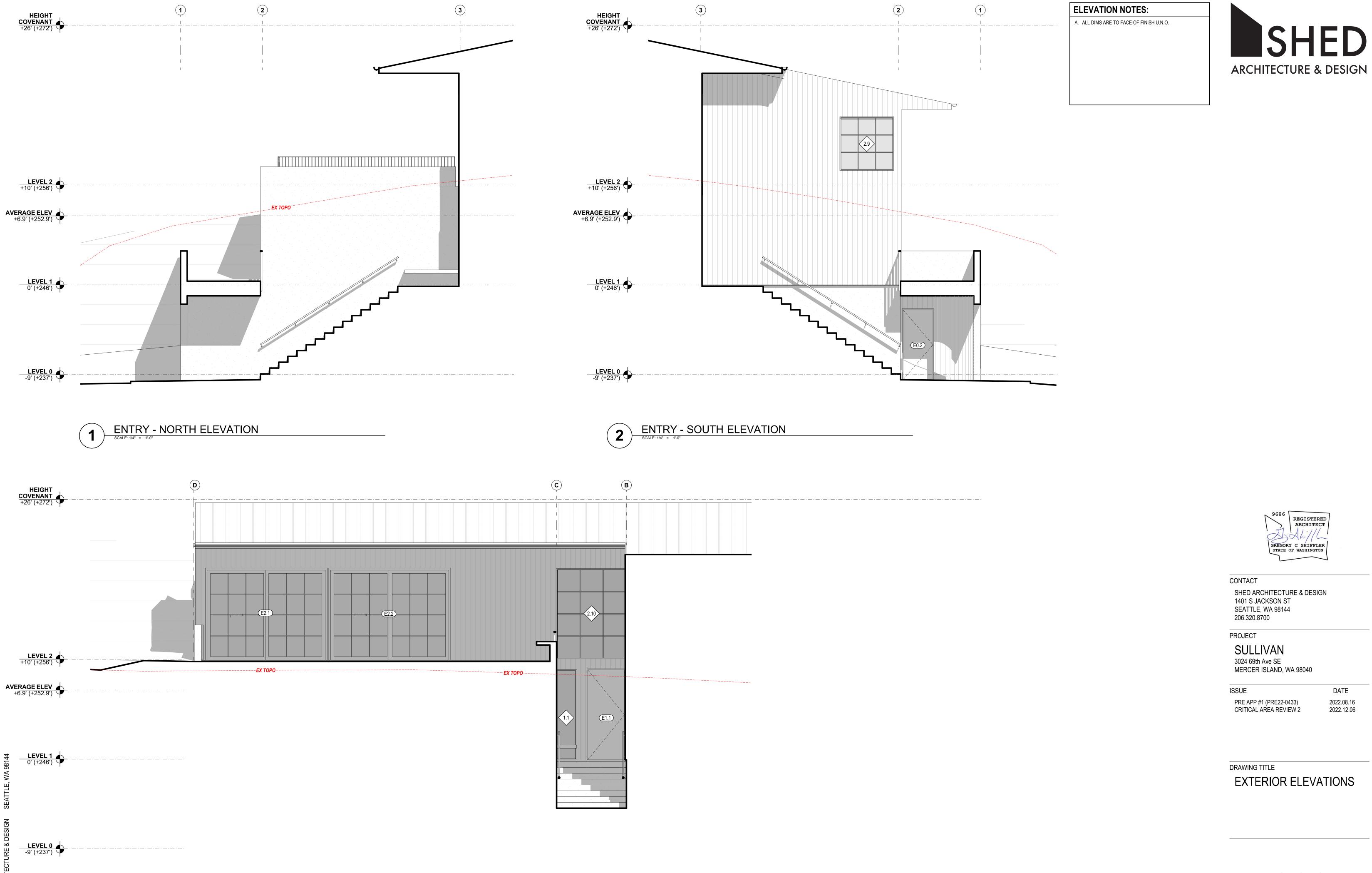
A-201



A-202

DATE

2022.08.16 2022.12.06



ENTRY - WEST ELEVATION

SCALE: 1/4" = 1'-0"

A-203

DATE

2022.08.16 2022.12.06